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# EAST

## ASSETS GROUP

P1 // 99 STATION ST

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REV:	DESCRIPTION:	DATE:
A	DA. Copy (1st Issue) 70mm frame, 2 Storey dwelling facing on to Station Street & on to McGoughans Lane	14/08/21.
B	DA. Copy (2nd Issue) 70mm frame, <b>LOWSET</b> dwelling facing on to Station Street & <b>2 STOREY</b> dwelling facing on to McGoughans Lane	29/06/22..
C	DA.-03 (3rd Issue) Minor Updates	11/10/22.

Design By:  **DAMON TALLON**  
*Building Designer*

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Email: damontallon@gmail.com

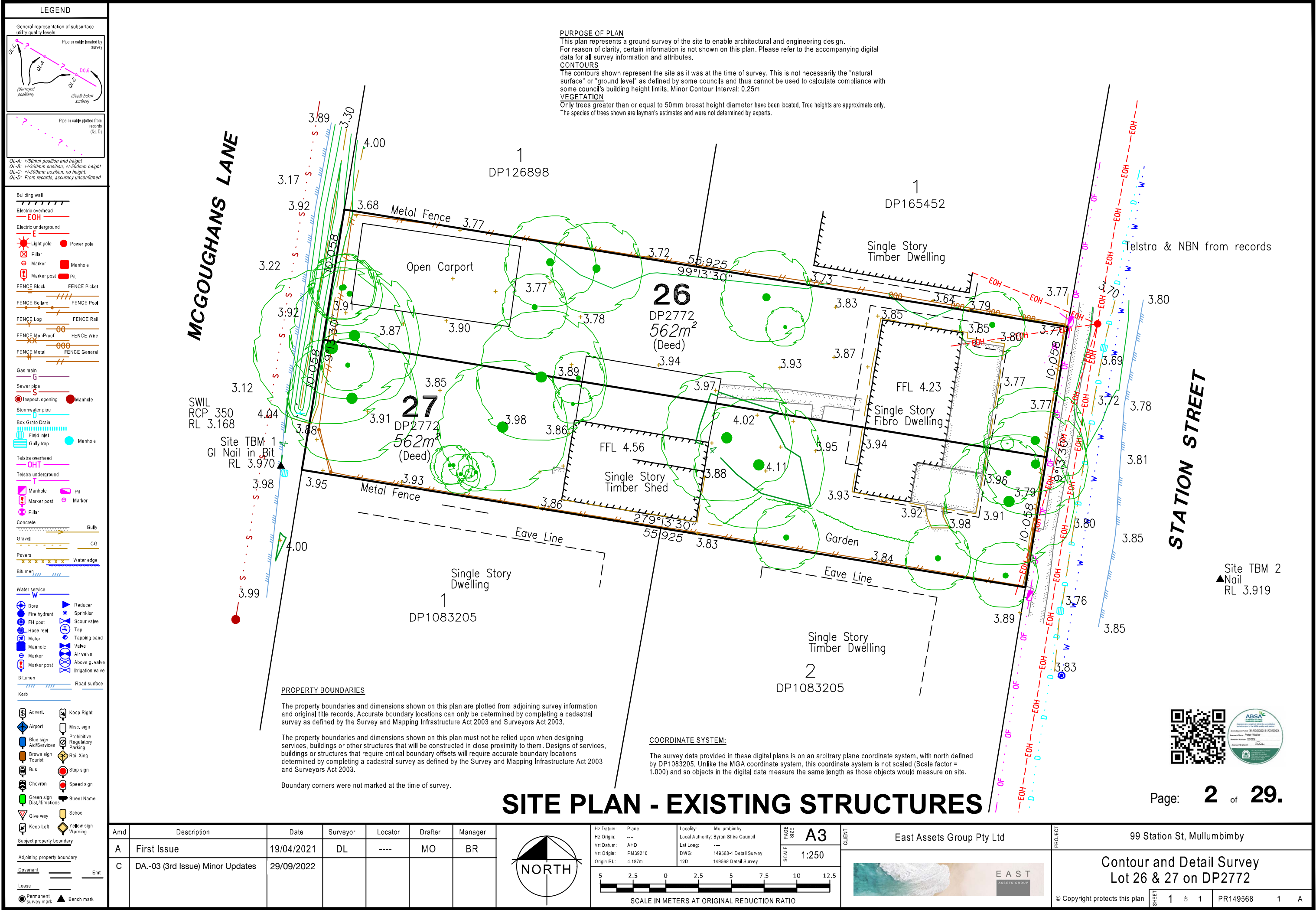
**PROPOSED DUAL OCCUPANCY  
RESIDENCES LOCATED AT Lot 26 & 27  
DP2772  
(#99) STATION STREET, MULLUMBIMBY,  
NSW.**

**DA. COPY - REV C - 11/10/2022**



*'LOWSET' DUAL OCCUPANCY (2 UNIT) BUILDING WILL FACE ON TO STATION STREET  
'2 STOREY' DUAL OCCUPANCY (2 UNIT) BUILDING WILL FACE ON TO McGOUGHANS LANE.*

*\* THESE PLANS SUPERCEED ALL OTHER PREVIOUS PLANS OR SKETCHES & ARE THE PLANS REFFERED TO IN THE CONTRACT*

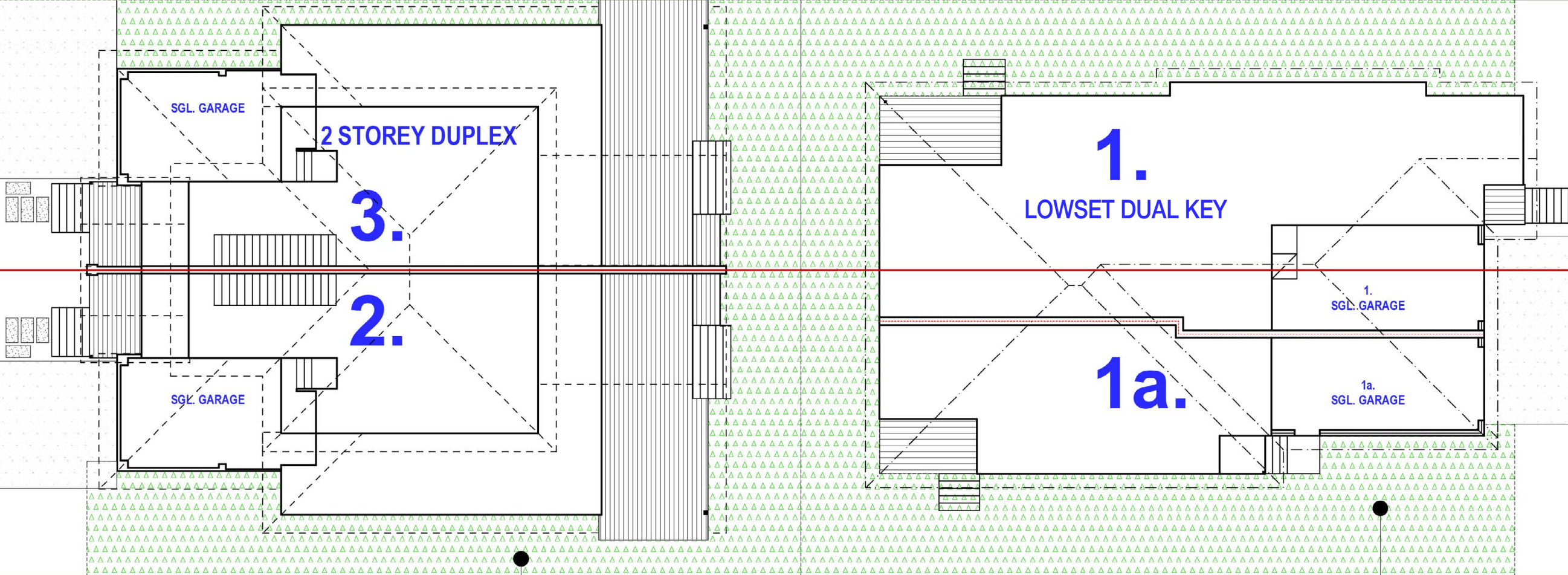




MCGOUGHANS LANE

STATION STREET

DEEP SOIL ZONE AREA PER UNIT 'HATCHED' IN GREEN = 75.06m2 (= 26.7%)



DEEP SOIL ZONE AREA PER UNIT 'HATCHED' IN GREEN = 75.06m2 (= 26.7%)

TOTAL DEEP SOIL ZONE AREA (BOTH UNITS) 'HATCHED' IN GREEN = 167.51m2 (= 30%)

**McGOUGHANS LANE (2 STOREY DUPLEX)** DEEP SOIL ZONE INFO  
DEEP SOIL ZONE REQUIRED: **25%** (70.313m2) per unit  
DEEP SOIL ZONE ACHIEVED: **26.7%** (75.06m2) per unit

**STATION STREET (LOWSET DUPLEX)** DEEP SOIL ZONE INFO  
DEEP SOIL ZONE REQUIRED: **25%**  
DEEP SOIL ZONE ACHIEVED: **30%** (167.51m2) for both units

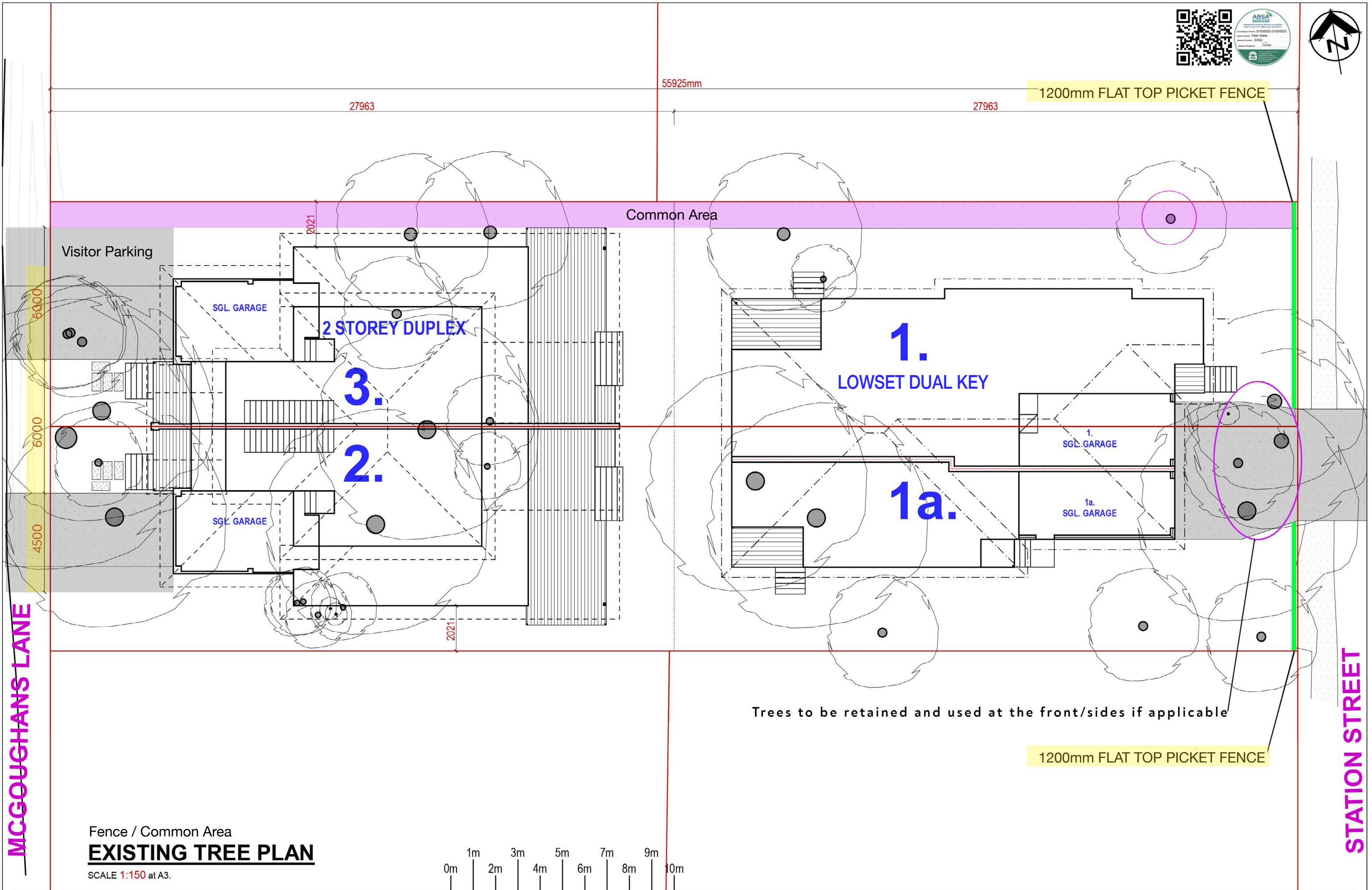
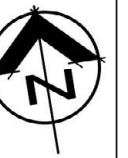
**DEEP SOIL ZONES**

SCALE 1:150 at A3.

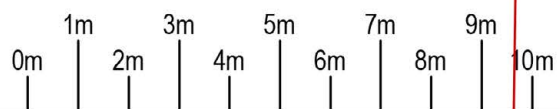
At least 25% of the site must consist of DEEP SOIL AREAS, The deep soil areas must not include any areas used for the management of on-site sewage effluent







Fence / Common Area  
**EXISTING TREE PLAN**  
SCALE 1:150 at A3.





**2 STOREY DUPLEX Floor Space Ratio: (PER UNIT)**  
TOTAL SITE AREA: 281.25m2  
(UPPER GFA. = 41.23m2 / LOWER GFA. = 88.62m2) TOTAL GFA. = 129.85m2  
**2 STOREY DUPLEX FLOOR SPACE RATIO: 0.461 : 1**

**PROPERTY DESCRIPTION**  
LOT 26 & 27 on DP2772  
Local Government: Byron Shire Council

DISCHARGE ALL STORMWATER LINES TO LEGAL POINT OF DISCHARGE

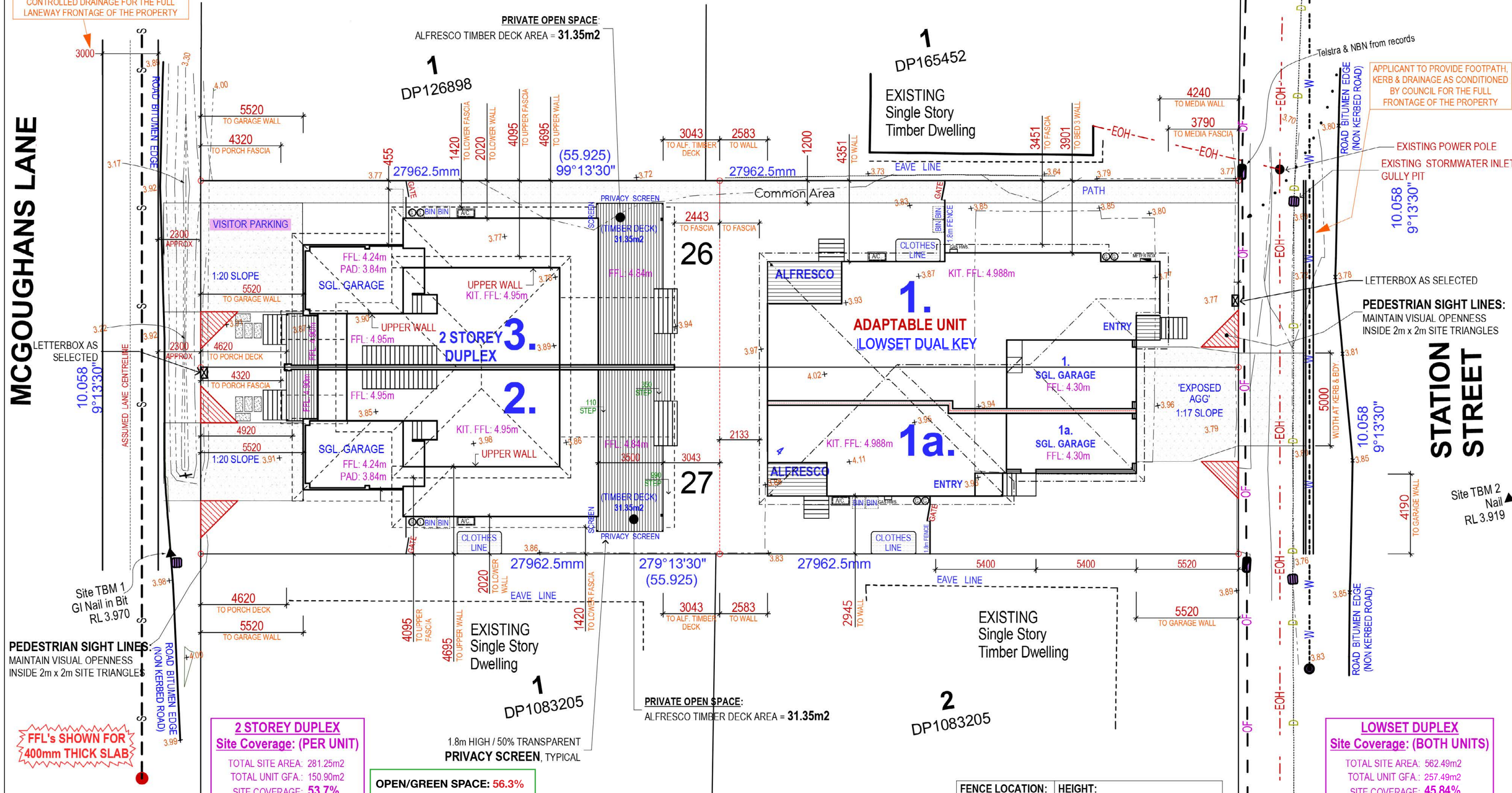
**LOWSET DUPLEX Floor Space Ratio: (BOTH UNITS)**  
TOTAL SITE AREA: 562.49m2  
(UNIT-1 GFA. = 138.46m2 / UNIT-1A GFA. = 76.08m2) TOTAL GFA. = 224.99m2  
**LOWSET DUPLEX FLOOR SPACE RATIO: 0.399 : 1**



APPLICANT TO PROVIDE A NOMINAL MINIMUM WIDTH OF 3 METRES BITUMEN SEAL WITH CONTROLLED DRAINAGE FOR THE FULL LANEWAY FRONTAGE OF THE PROPERTY

**CUMULATIVE TOTAL SITE AREA: 1124.98m2**  
**CUMULATIVE GFA: 559.29m2**  
**CUMULATIVE FLOOR SPACE RATIO: 0.43**

MCGOUGHANS LANE



PEDESTRIAN SIGHT LINES:  
MAINTAIN VISUAL OPENNESS  
INSIDE 2m x 2m SITE TRIANGLES

FFL's SHOWN FOR  
400mm THICK SLAB

**2 STOREY DUPLEX Site Coverage: (PER UNIT)**  
TOTAL SITE AREA: 281.25m2  
TOTAL UNIT GFA.: 150.90m2  
SITE COVERAGE: 53.7%

**OPEN/GREEN SPACE: 56.3%**

**LOWSET DUPLEX Site Coverage: (BOTH UNITS)**  
TOTAL SITE AREA: 562.49m2  
TOTAL UNIT GFA.: 257.49m2  
SITE COVERAGE: 45.84%

**OPEN/GREEN SPACE: 57.05%**

# SITE PLAN - OVERALL

SCALE 1:200 at A3.



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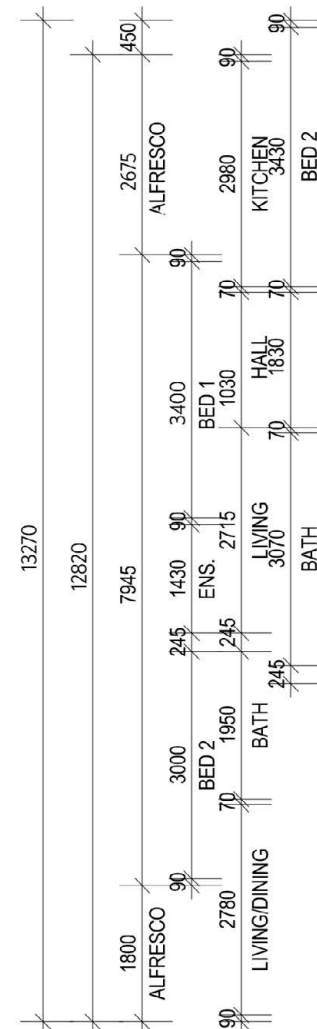
ALL WORK TO COMPLY WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS & ANY LOCAL AUTHORITY REQUIREMENTS OR BYLAWS. IT IS THE RESPONSIBILITY OF THE BUILDER & SUBCONTRACTOR TO ENSURE ALL RELEVANT CONSTRUCTION STANDARDS ARE ACHIEVED

**CLIENT:** East Assets Group  
**ADDRESS:** Lot 26 & 27 (No:99) STATION STREET, Mullumbimby, NSW. DP2772. DUAL OCCUPANCY

Rev:	Description:	Date:
A	DA-01 (1st Issue) 'Dual Occupancy' - 70mm frame	14/08/21
B	DA-02 (2nd Issue) Lowset on Station St. / 2 Storey on rear lane	29/06/22
C	DA-03 (3rd Issue) Minor Updates	11/10/22

Latest Plans:  
**Page: 5 of 29.**





This architectural floor plan illustrates a two-unit residential building. The layout is divided into two main sections, Unit 1 and Unit 1a, each with its own set of rooms and a garage. Unit 1 includes a bedroom, bathroom, living area, kitchen, and alfresco. Unit 1a includes a bedroom, bathroom, living/dining area, kitchen, and alfresco. Both units have access to a common garage area. The plan also shows common areas like a media room, office, and rumpus. Dimensions and room names are clearly labeled throughout the drawing.

**Unit 1:**

- Bedroom 1 (BED 1): 3910 x 3330, Carpet.
- Bathroom 1 (BATH): 1800 x 950, Tiles.
- Living Area (LIVING): Vinyl flooring.
- Dining Area (DINING): Vinyl flooring.
- Kitchen (KITCHEN): Vinyl flooring, includes sink, stove, and refrigerator.
- Alfresco (ALFRESCO): Timber flooring.
- Garage (GARAGE): Plain concrete, 6060 x 6880.

**Unit 1a:**

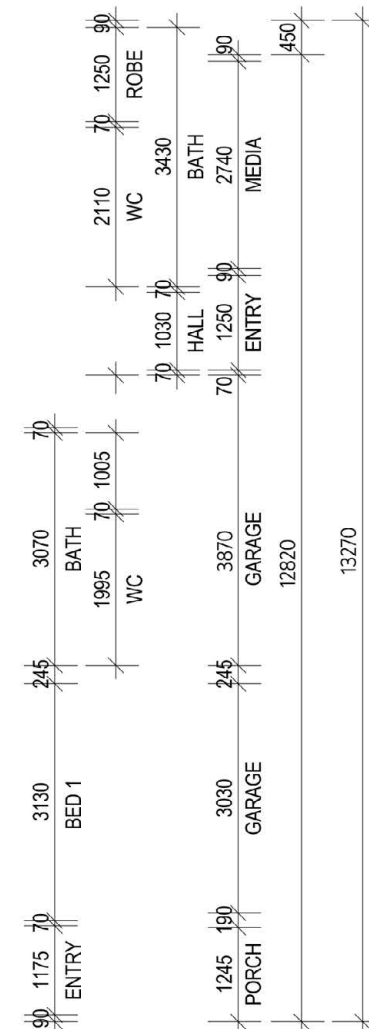
- Bedroom 2 (BED 2): 3130 x 3200, Carpet.
- Bathroom 2 (BATH): 1700 x 790, Tiles.
- Living/Dining Area (LIVING/DINING): Vinyl flooring.
- Kitchen (KITCHEN): Vinyl flooring, includes sink, stove, and refrigerator.
- Alfresco (ALFRESCO): Timber flooring.
- Garage (GARAGE): Plain concrete, 7190 x 6800.

**Common Areas:**

- Media Room (MEDIA): 3100 x 3300.
- Office (OFFICE): 3340 x 3100.
- Rumpus (RUMPUS): Carpet flooring.
- Bedroom 2/Bath Overall (BED 2/BATH OVERALL): 4120 x 10130.
- Entry (ENTRY): Vinyl flooring.
- Storage (STORAGE): Multiple locations.

**Structural Details:**

- Stairs: 1 UP, 2 UP, 3 UP.
- Doors: Various types including swing doors and sliding doors.
- Windows: Various sizes and types.
- Floors: Carpet, Vinyl, Timber, Tiles, Plain Concrete.
- Roof: 1818 SGW, 1812 SGW, 1824 SGW, 1218 SGW, 1818 SGW.
- Foundation: FFL 4888, FFL 4988, FFL 4300.



A diagram of a four-pointed star (asterisk) with numbers at its vertices: 2 on the left, 3 on the bottom, 4 on the top, and 5 on the right.

6 of 29.





**East Elevation viewed from Station Street**



**West Elevation viewed from center  
of site looking to Station Street**

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_

[illegible]

PRELIMINARY	
<u>REAL PROPERTY DESCRIPTION</u>	<u>ORIENTATION</u>
LOT: 26-27 PLAN:	
PARISH:	
COUNTY:	
LOCAL AUTHORITY:	

**AREA CALCULATIONS**

PROJECT COMMENCED:	PROJECT NO:	MUL26-27
03.05.22	DRAWING NO:	06
DRAWN BY:	JM	SCALE: 1 : 100 @A3
CHECKED BY:	TKL	ISSUE: C

CLIENT	
PROJECT ADDRESS	
LOT 26&27 - 99 STATION ST, MULLUMBIMBY, NSW	
DRAWING TITLE:	
27 Elevations	
06	
A3	
C	

7 of 29.






Elevation 3  
1 : 100

South Elevation



Elevation 4  
1 : 100

North Elevation



**EAST**  
ASSETS GROUP

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CABINETRY, ELECTRICAL APPLIANCES & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS OF ALL FIXTURES, FITTINGS AND INCLUSIONS.  
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REV	DATE	DESCRIPTION	DRAWN BY
A	03.05.22	PRELIMINARY ISSUE	JM
B	23.05.22	PRELIMINARY ISSUE	JM
C	26.06.22	PRELIMINARY ISSUE - UNIT 1 MODIFICATION	JM

PRELIMINARY	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 26-27 PLAN:	
PARISH:	
COUNTY:	
LOCAL AUTHORITY:	

AREA CALCULATIONS	

**NOTE:**  
DRAWINGS ARE CONCEPTUAL. ALL SITE BEARINGS, DIMENSIONS & CONTOURS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY PLAN. FLOOR PLANS AND ELEVATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO COVENANT AND BUILDING APPROVAL.

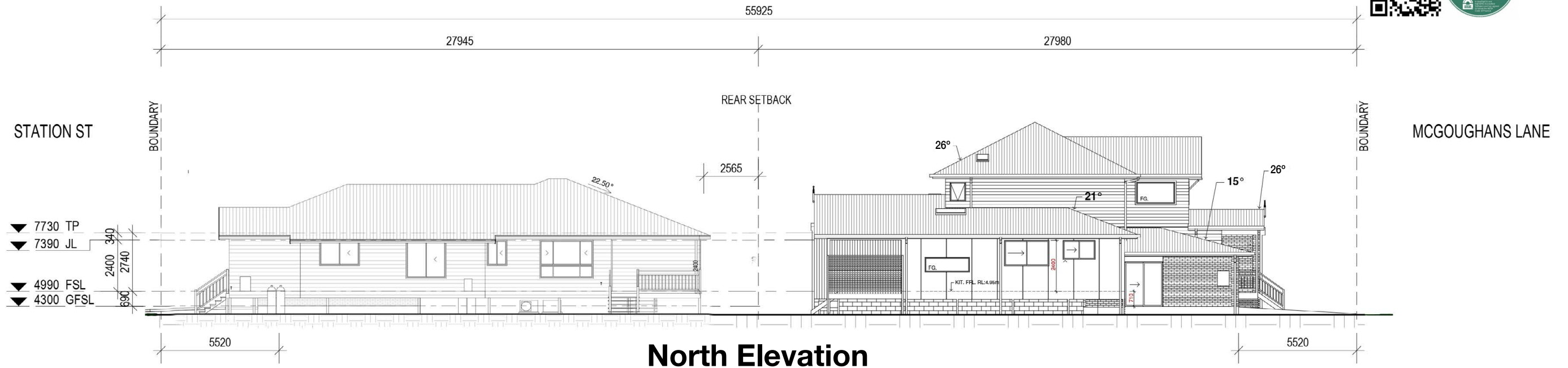
PROJECT COMMENCED:	PROJECT NO:
03.05.22	MUL26-27
DRAWN BY:	DRAWING NO:
JM	06
CHECKED BY:	SCALE:
TKL	1 : 100 @A3
	ISSUE:
	C

**CLIENT**

**PROJECT ADDRESS**  
LOT 26&27 - 99 STATION ST, MULLUMBIMBY, NSW

**DRAWING TITLE:**  
Elevations

8 of 29.




Side Elevation I - Overall  
1 : 200



Side Elevation II - Overall  
1 : 200



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	C	26.06.22	PRELIMINARY ISSUE - UNIT 1 MODIFICATION	JM	REAL PROPERTY DESCRIPTION		ORIENTATION			
					LOT: 26-27 PLAN:					
					PARISH:					
					COUNTY:					
					LOCAL AUTHORITY:					



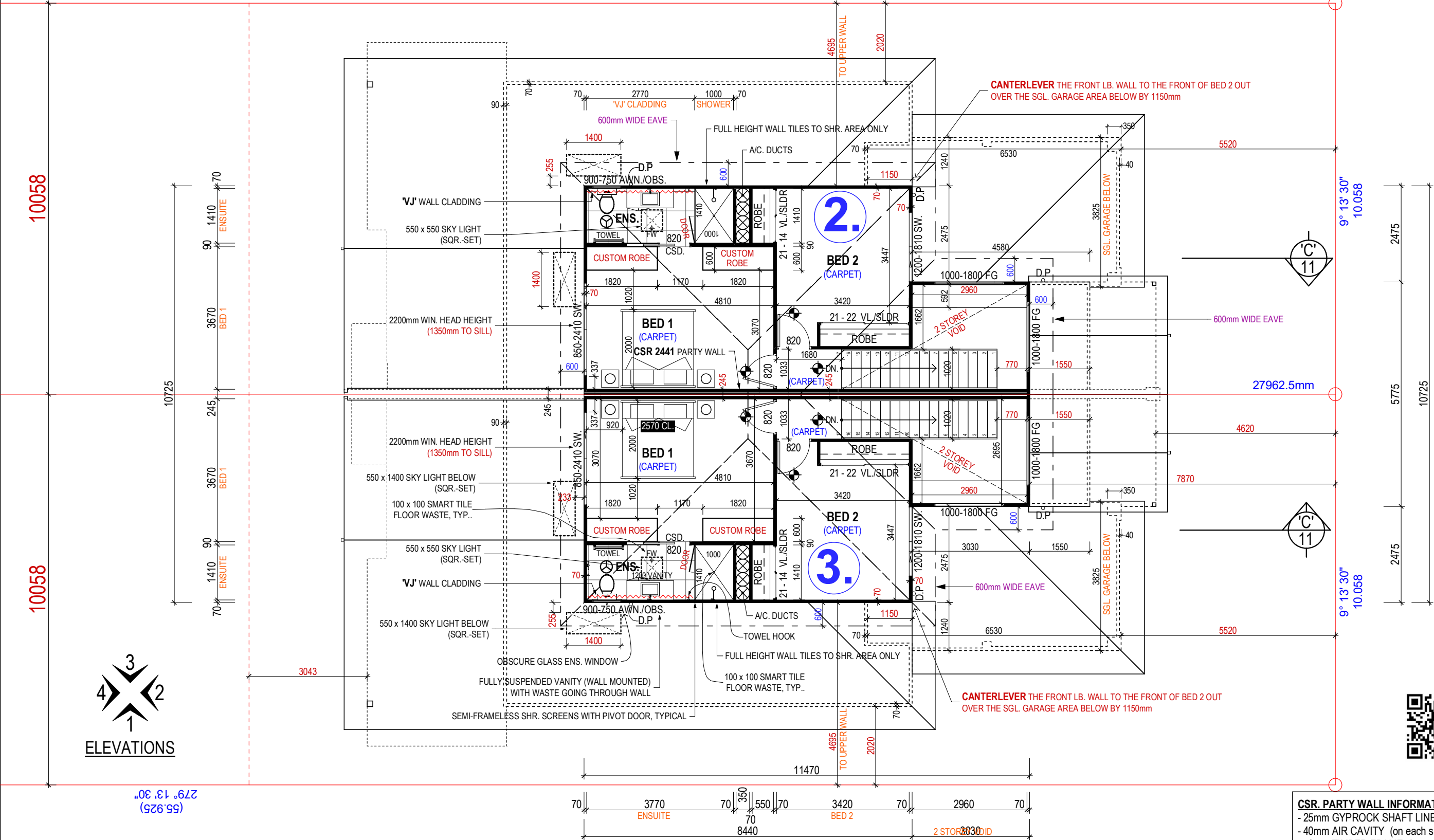
GENERAL NOTES

1. TERMITE PROTECTION TO BE INSTALLED IN ACCORDANCE WITH AS.3660.1 & PART 3.1.3 OF THE BCA.  
2. MECHANICAL VENTILATION TO BE INSTALLED AS PER PART 3.8.5 OF THE BCA.  
3. SMOKE ALARMS TO BE INSTALLED AS PER PART 3.7.2 OF THE BCA.   
4. WET AREAS TO COMPLY WITH PART 3.8.1 OF THE BCA.   
5. BEDROOM WINDOWS WITH 2m FALL HEIGHT FROM FL. TO GROUND BELOW TO COMPLY WITH N.C.C.  
3.9.2.5. TO BE FITTED WITH NON-REMOVABLE SAFETY 'or' RESTRICTED TO 125mm OPENING.  
6. WC DOORS TO COMPLY WITH PART 3.8.3.3 OF THE BCA. (LIFT OFF HINGES).  
7. **ANTICON BLANKET** UNDER ALL SHEET ROOF AREA (as per Energy Efficiency Requirements).  
8. **CSR. PARTYWALL** AS INDICATED. (190 BLOCK SUB-FLOOR PARTY WALL)  
9. FIBERGLASS BATTS TO ALL EXTERNAL WALLS. (as per Energy Efficiency Requirements).

~~~~~:DENOTES WALL FACE WITH 'VJ' CLADDING

DUCTED A/C. SYSTEM AS SELECTED

10. SARKING TO ALL EXTERNAL WALLS.  
11. ALL SHR. ROSES TO BE AAA RATED.  
12. CONDUIT FOR NBN. CONNECTION INCLUDING (1) DATA POINT.  
13. COLD WATER CONNECTION TO EACH FRIDGE SPACE.  
14. ALL LOWER LEVEL INTERNAL DOORS TO BE **2340mm** HIGH.  
15. ALL UPPER LEVEL INTERNAL DOORS TO BE **2040mm** HIGH.  
16. ALL HANDRAILS TO BE MIN. OF 1000mm ABOVE F.F.L.'s.  
17. **SQUARE SET CORNICE** TO ALL UNITS ON BOTH LEVELS.



FLOOR PLAN - UPPER (2 STOREY DUPLEX)

SCALE 1:100 at A3.

**CSR. PARTY WALL INFORMATION: CSR 2441**  
- 25mm GYPROCK SHAFT LINER PANEL  
- 40mm AIR CAVITY (on each side)  
- 70mm TIMBER FRAME (on each side)  
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)  
(overall 'BARE' timber frame width = 245mm)



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**ADDRESS:** Lot 26 & 27 (No:99) STATION STREET, Mullumbimby, NSW. DP2772. DUAL OCCUPANCY

| Rev. | Description:                                                     | Date:    |
|------|------------------------------------------------------------------|----------|
| A    | DA.-01 (1st Issue) 'Dual Occupancy' - 70mm frame                 | 14/08/21 |
| B    | DA.-02 (2nd Issue) Lowset on Station St. / 2 Storey on rear lane | 29/06/22 |
| C    | DA.-03 (3rd Issue) Minor Updates                                 | 11/10/22 |

Latest Plans:

# DIMENSION PLAN - UPPER

(2 STOREY DUPLEX)

SCALE 1:100 at A3.



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CLIENT:  
ADDRESS:

East Assets Group  
Lot 26 & 27 (No:99) STATION STREET,  
Mullumbimby, NSW. DP2772.  
DUAL OCCUPANCY

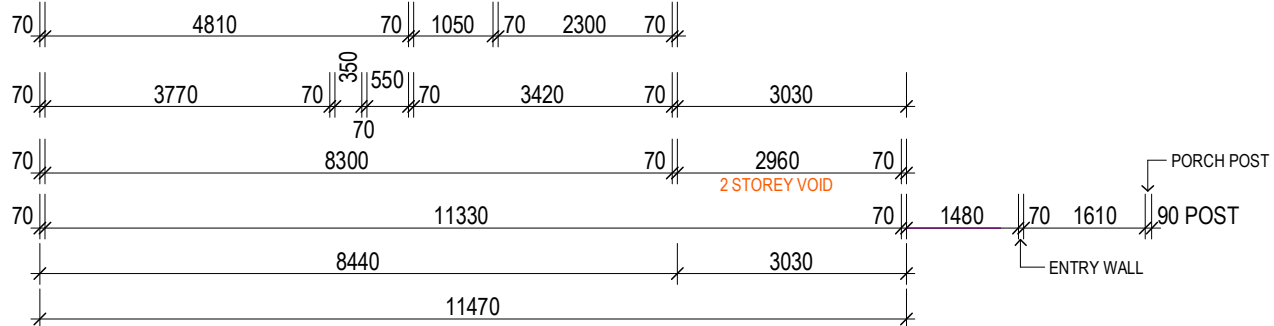
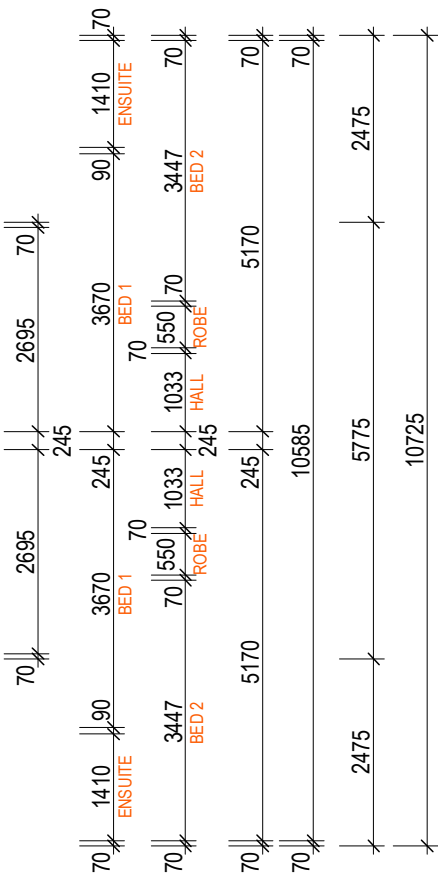
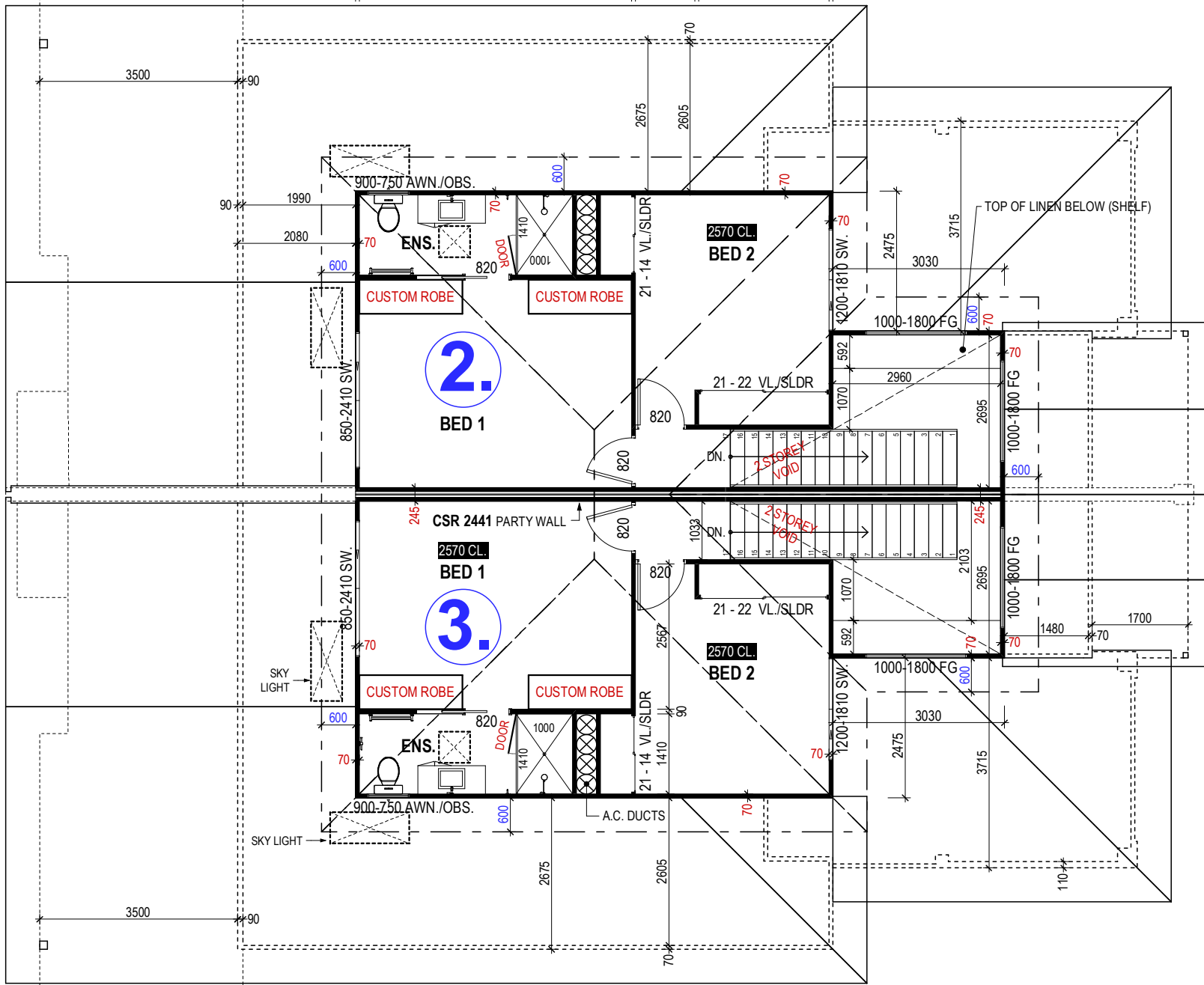
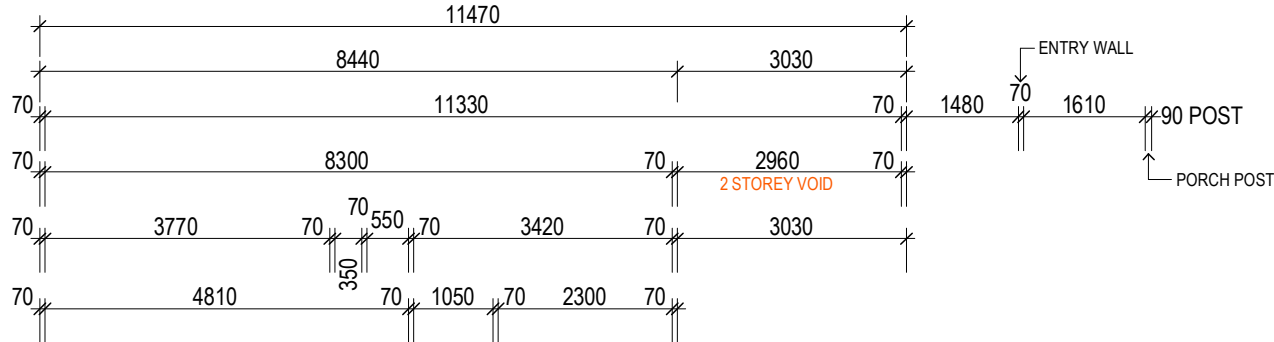
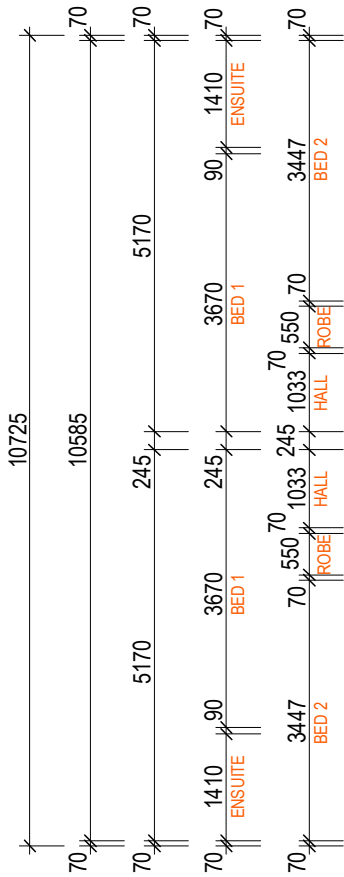
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Latest Plans:

Page: 11 of 29.

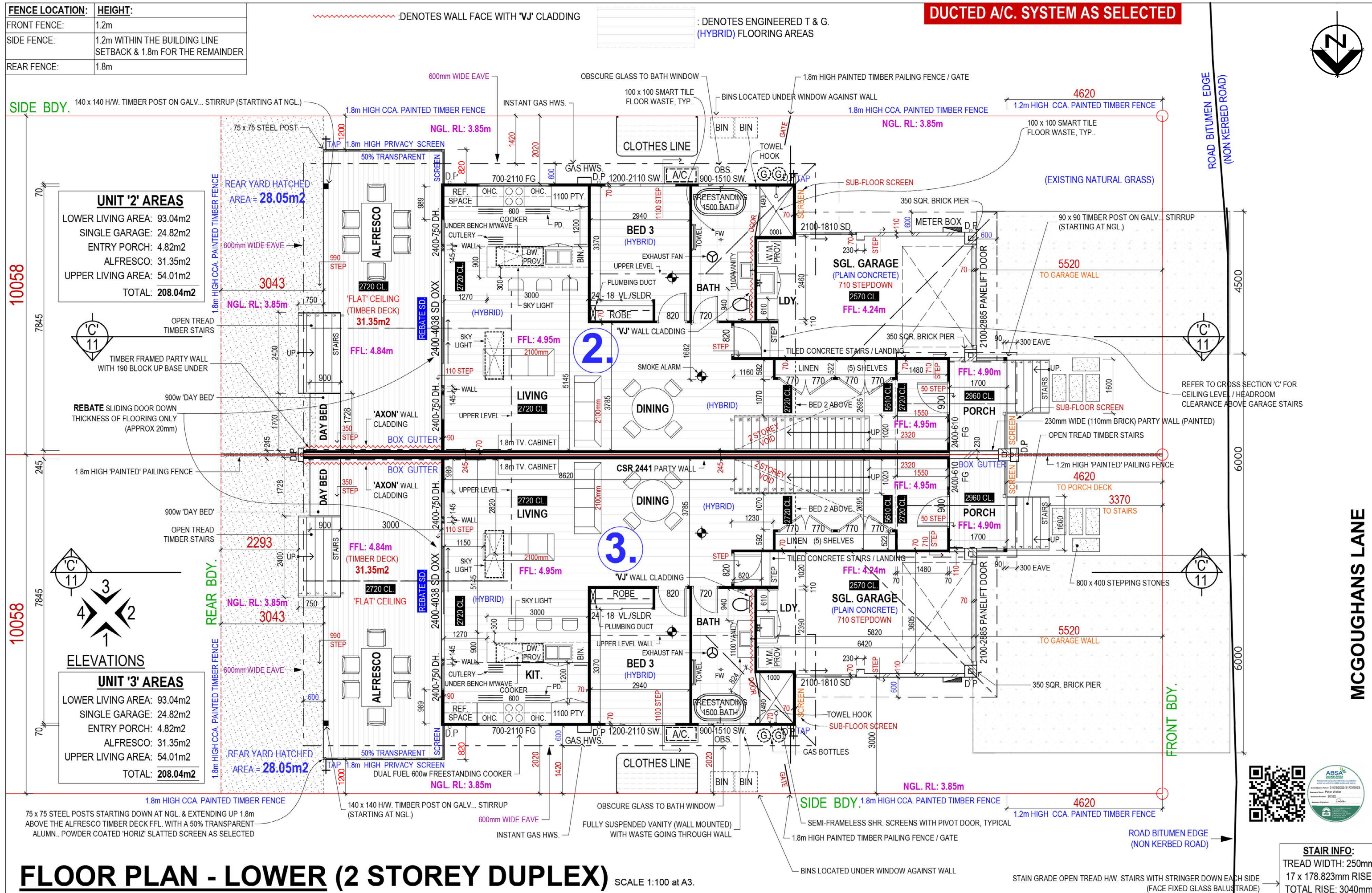


**CSR. PARTY WALL INFORMATION: CSR 2441**  
- 25mm GYPROCK SHAFT LINER PANEL  
- 40mm AIR CAVITY (on each side)  
- 70mm TIMBER FRAME (on each side)  
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)  
(overall 'BARE' timber frame width = 245mm)

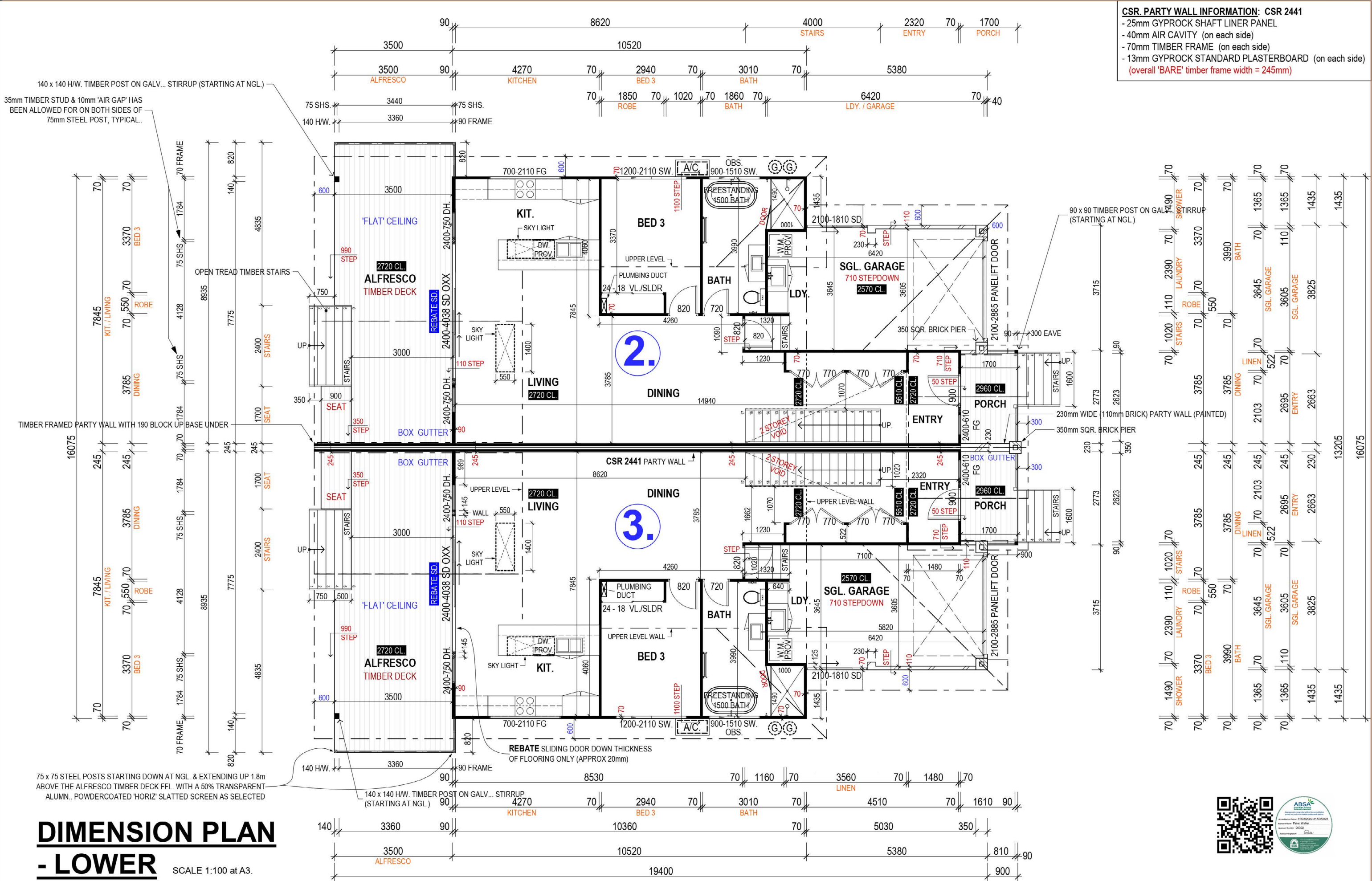




|                        |                                                                   |
|------------------------|-------------------------------------------------------------------|
| <b>FENCE LOCATION:</b> | <b>HEIGHT:</b>                                                    |
| FRONT FENCE:           | 1.2m                                                              |
| SIDE FENCE:            | 1.2m WITHIN THE BUILDING LINE<br>SETBACK & 1.8m FOR THE REMAINDER |
| REAR FENCE:            | 1.8m                                                              |





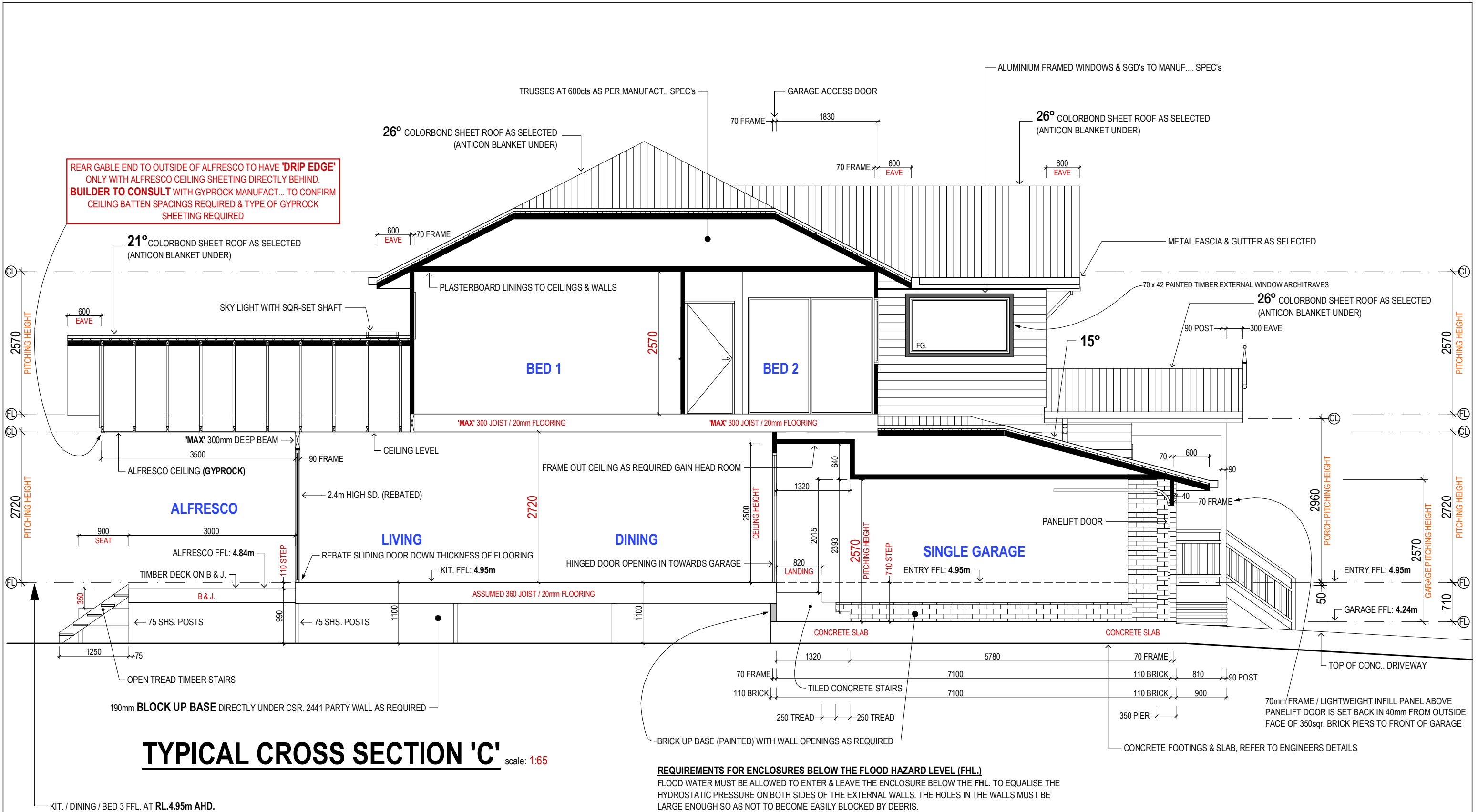


**CSR PARTY WALL INFORMATION: CSR 2441**  
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- 40mm AIR CAVITY (on each side)  
- 70mm TIMBER FRAME (on each side)  
- 13mm GYPROCK STANDARD PLASTERBOARD (on each side)  
(overall 'BARE' timber frame width = 245mm)

**DIMENSION PLAN**  
**- LOWER**  
(2 STOREY DUPLEX)

SCALE 1:100 at A3.





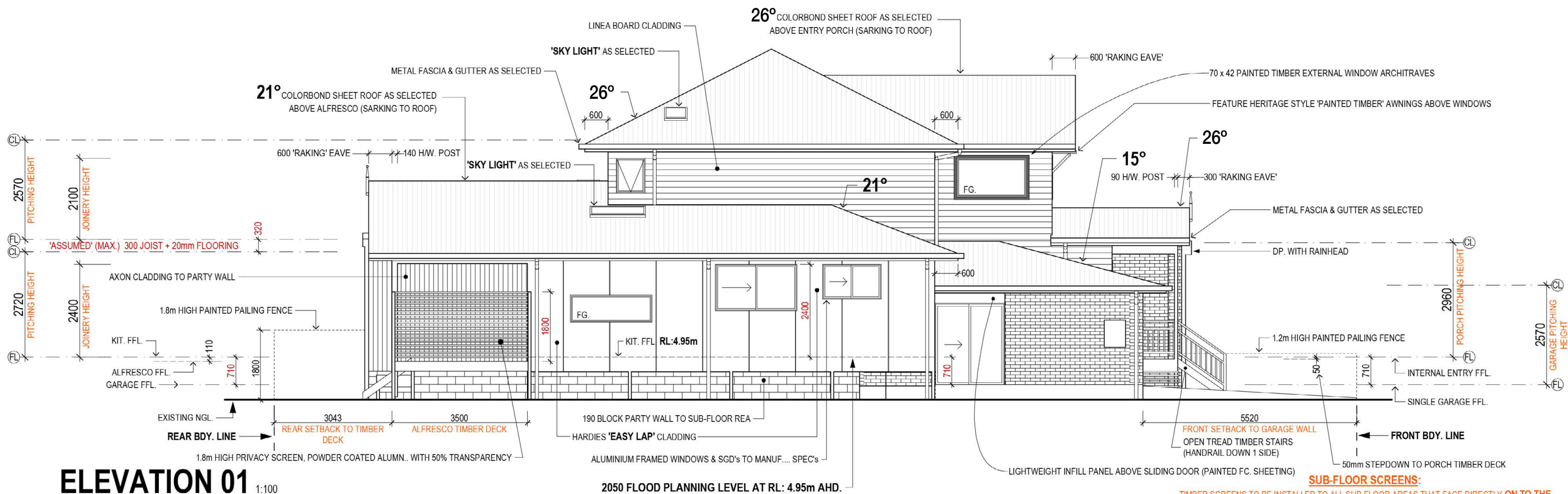
**TYPICAL CROSS SECTION 'C'** scale: 1:65

**REQUIREMENTS FOR ENCLOSURES BELOW THE FLOOD HAZARD LEVEL (FHL.)**  
FLOOD WATER MUST BE ALLOWED TO ENTER & LEAVE THE ENCLOSURE BELOW THE FHL. TO EQUALISE THE HYDROSTATIC PRESSURE ON BOTH SIDES OF THE EXTERNAL WALLS. THE HOLES IN THE WALLS MUST BE LARGE ENOUGH SO AS NOT TO BECOME EASILY BLOCKED BY DEBRIS.  
(a). THERE SHOULD BE A MIN. OF TWO OPENINGS ON DIFFERENT SIDES OF EACH ENCLOSED AREA.  
(b). THE TOTAL NET AREA OF ALL OPENINGS SHOULD BE AT LEAST 1% OF THE ENCLOSED AREA.  
(c). ANY OPENING COVERS SHOULD NOT IMPEDE THE FLOW OF WATER.  
(d). CONSIDERATION SHOULD BE GIVEN TO PREVENT THE OPENINGS FROM BECOMING BLOCKED.

SINGLE GARAGE TOTAL ENCLOSED AREA = 24.82m<sup>2</sup>  
1% OF 24.82m<sup>2</sup> = 0.2482m<sup>2</sup> ← 'MIN' AREA REQUIRED FOR WALL OPENINGS

**2050 FLOOD PLANNING LEVEL INFO:**  
THE FINISHED FLOOR LEVEL TO THE LOWER LEVEL (KIT. / DINING / BED 3) LEVEL HABITABLE ROOMS TO ALL UNITS IS TO BE AT RL.4.95m AHD.  
THE 2050 FLOOD PLANNING LEVEL USED FOR ALL UNITS (BOTH BLOCKS) IS AT RL.4.95m AHD.





## ELEVATION 01

1:100

## North Elevation



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CLIENT: East Assets Group  
ADDRESS: Lot 26 & 27 (No:99) STATION STREET, Mullumbimby, NSW. DP2772. DUAL OCCUPANCY

| Rev. | Description:                                                    | Date:    |
|------|-----------------------------------------------------------------|----------|
| A    | DA-01 (1st Issue) 'Dual Occupancy' - 70mm frame                 | 14/08/21 |
| B    | DA-02 (2nd Issue) Lowset on Station St. / 2 Storey on rear lane | 29/06/22 |
| C    | DA-03 (3rd Issue) Minor Updates                                 | 11/10/22 |

Latest Plans:  
Page: 15 of 29.



FEATURE GABLE TIMBER INFILL LOCATED BACK IN AT WALL FACE WITH 'SMOOTH' FC. SHEETING DIRECTLY BEHIND. (66 x 11 VERTICAL BOARDS WITH 200mm 'GAP' BETWEEN & 90 x 19 HORIZ. BOTTOM RAIL). H3. (DAR.) L.O.S.P. PAINTED TIMBER

FEATURE HERITAGE STYLE 'PAINTED TIMBER' AWNINGS ABOVE WINDOWS

TOP OF ROOF AT HIGHEST POINT

26° COLORBOND SHEET ROOF AS SELECTED  
ABOVE ENTRY PORCH (SARKING TO ROOF)

SIDE BDY. LINE

4695  
SIDE SETBACK TO BED 2 WALL

SMOOTH FC. CLADDING (PAINTED)  
26°

26° COLORBOND SHEET ROOF AS SELECTED  
(SARKING TO ROOF)

600mm WIDE RAKING EAVE

SIDE BDY. LINE

4695  
SIDE SETBACK TO BED 2 WALL

METAL FASCIA & GUTTER AS SELECTED

70 x 42 PAINTED TIMBER EXTERNAL WINDOW ARCHITRAVES

21° COLORBOND SHEET ROOF AS SELECTED  
(SARKING TO ROOF)

15° COLORBOND SHEET ROOF AS SELECTED  
ABOVE SINGLE GARAGE (SARKING TO ROOF)

2100  
JOINERY HEIGHT

2570  
PITCHING HEIGHT

21° COLORBOND SHEET ROOF AS SELECTED  
(SARKING TO ROOF)

15° COLORBOND SHEET ROOF AS SELECTED  
ABOVE SINGLE GARAGE (SARKING TO ROOF)

'ASSUMED' (MAX.) 300 JOIST + 20mm FLOORING

METAL FASCIA & GUTTER AS SELECTED

LIGHTWEIGHT INFILL PANEL ABOVE PANELIFT DOOR (PAINTED FC. SHEETING)

75 x 75 STEEL POST

BATH FFL. APPROX 1100mm ABOVE EXISTING NGL

KIT. FFL. RL:4.95m

50mm STEPDOWN TO PORCH TIMBER DECK

ENTRY FFL.

50mm STEPDOWN TO PORCH TIMBER DECK

1800

1100

EXISTING NGL

2050 FLOOD PLANNING LEVEL AT RL: 4.95m AHD.

SIDE BDY. LINE

2020  
SIDE SETBACK TO BATH WALL

3455  
SIDE SETBACK TO GARAGE WALL

70 x 42 PAINTED TIMBER EXTERNAL ARCHITRAVES

CONCRETE DRIVEWAY

6137

150 EAVE

90

2683

BLOCK WALL

230

2682

2792

PORCH TIMBER DECK

2793

PORCH TIMBER DECK

7922

OPEN TREAD TIMBER STAIRS

820

1200

2020  
SIDE SETBACK TO BATH WALL

3455  
SIDE SETBACK TO GARAGE WALL

METAL FASCIA & GUTTER AS SELECTED

LIGHTWEIGHT INFILL PANEL ABOVE PANELIFT DOOR (PAINTED FC. SHEETING)

75 x 75 STEEL POST

ENTRY FFL.

50mm STEPDOWN TO PORCH TIMBER DECK

1800

1100

EXISTING NGL

75 x 75 STEEL POSTS STARTING DOWN AT NGL. & EXTENDING UP 1.8m

ABOVE THE ALFRESCO TIMBER DECK FFL. WITH A 50% TRANSPARENT

ALUMN. POWDERCOATED 'HORIZ' SLATTED SCREEN AS SELECTED

1800

1100

EXISTING NGL

1800

1100

EXISTING NGL

## ELEVATION 02

1:100

### SUB-FLOOR SCREENS:

TIMBER SCREENS TO BE INSTALLED TO ALL SUB-FLOOR AREAS THAT FACE DIRECTLY ON TO THE STREET ONLY (TO FRONT OF LOWER BATHROOM WHERE SHOWER IS LOCATED & ACROSS THE FRONT & DOWN ONE SIDE OF THE ENTRY PORCH TIMBER DECK AREA). SCREENS ARE TO BE CONSTRUCTED FROM 90 x 19mm H/W. DECKING WITH 45mm 'AIR GAP' BETWEEN EACH BOARD WITH PAINT FINISH

## West Elevation viewed from McGoughans Lane



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CLIENT:  
ADDRESS:

East Assets Group  
Lot 26 & 27 (No:99) STATION STREET,  
Mullumbimby, NSW. DP2772.  
DUAL OCCUPANCY

| Rev. | Description:                                                    | Date:    |
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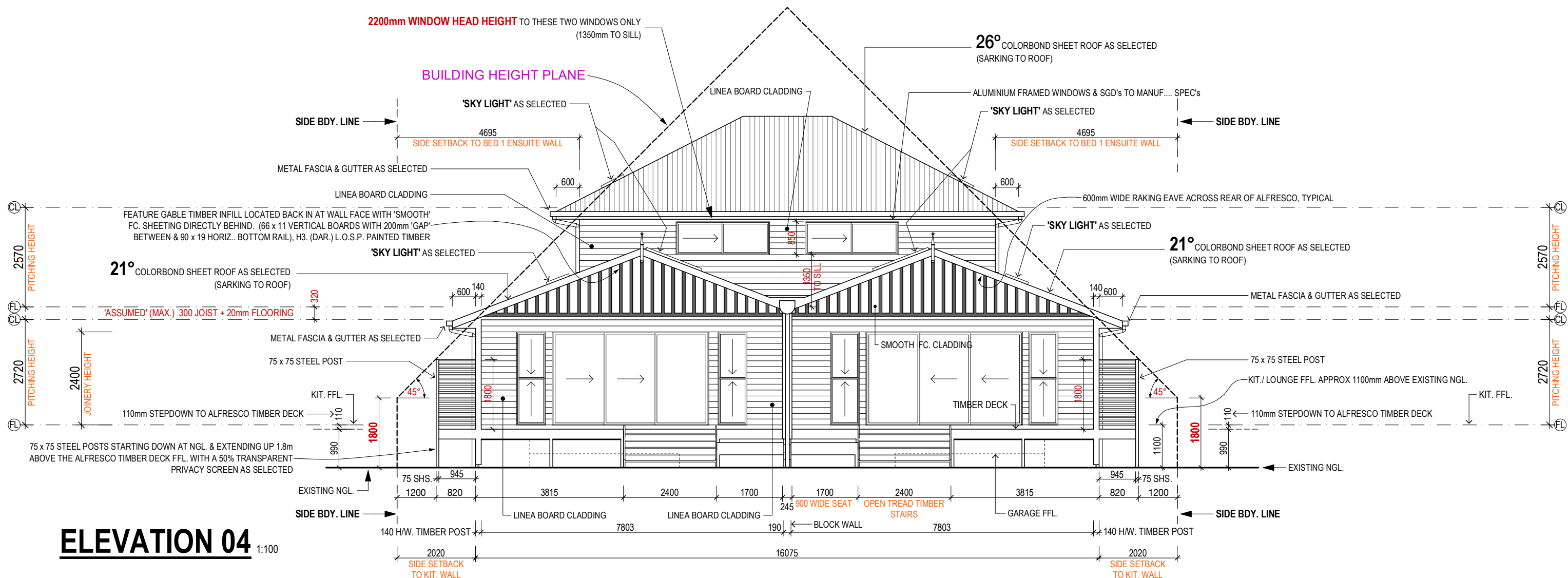
Latest Plans:

Page: 16 of 29.



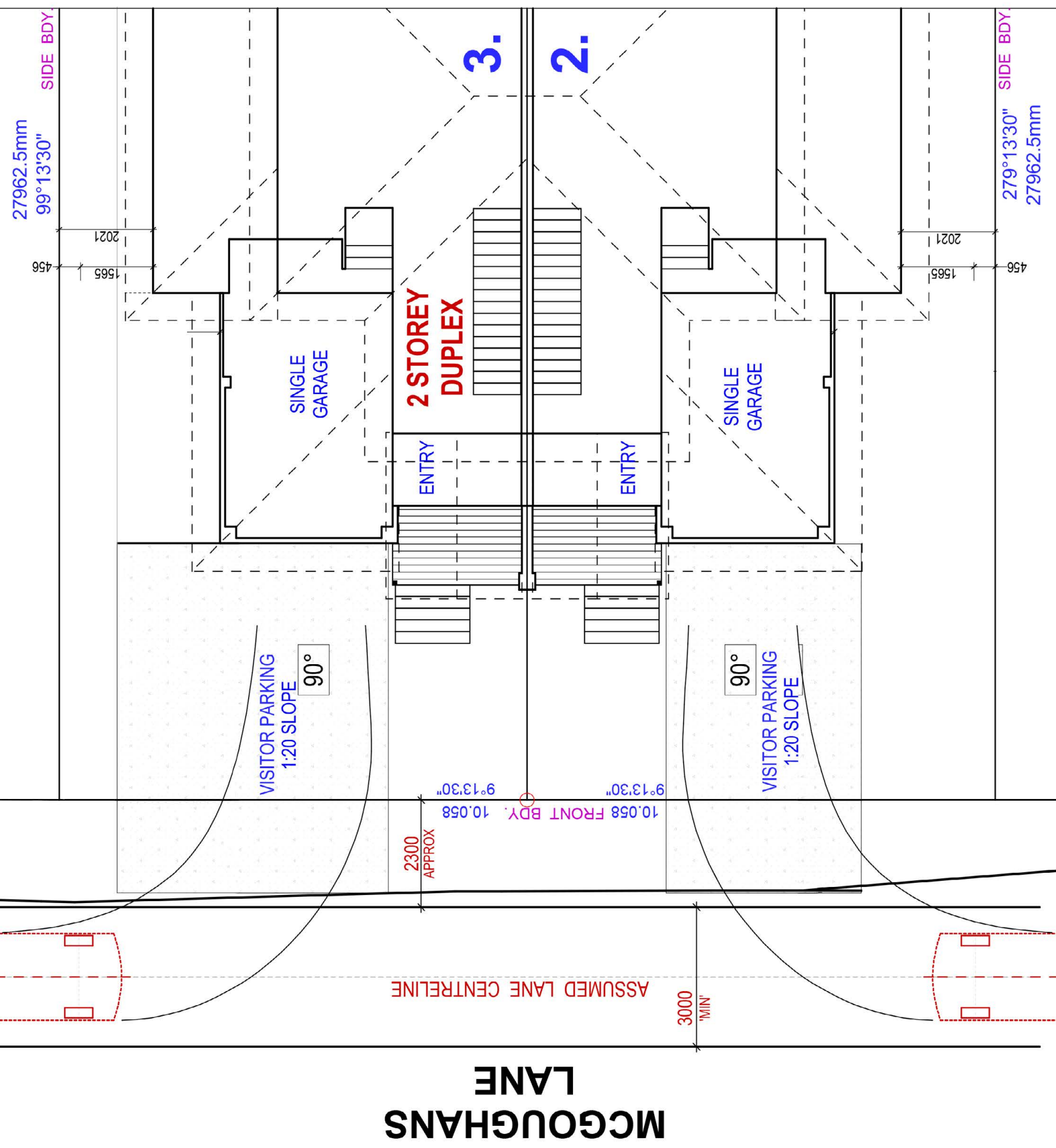
The image shows a QR code on the left and a circular logo on the right. The logo is for ABSA (Association for Business Schools Accreditation) and identifies Peter Weller as an Accredited Provider. The accreditation period is 31/03/2022 to 31/03/2023. The logo also includes the ABSA website URL and a list of member schools.





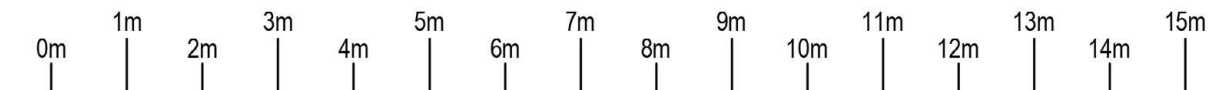
East Elevation viewed from center of site  
looking towards McGoughans Lane






# TURNING CIRCLES - REAR LANEWAY

SCALE 1:100 at A3.





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Latest Plans:

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Multi Dwelling

Certificate number: 1321569M

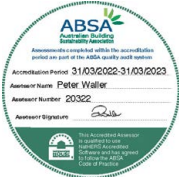
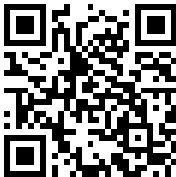
| Fixtures      |                               |                             |                  |                   |                               | Appliances          |                  | Individual pool     |            |               |             | Individual spa      |           |            |
|---------------|-------------------------------|-----------------------------|------------------|-------------------|-------------------------------|---------------------|------------------|---------------------|------------|---------------|-------------|---------------------|-----------|------------|
| Dwelling no.  | All shower-heads              | All toilet flushing systems | All kitchen taps | All bathroom taps | HW recirculation or diversion | All clothes washers | All dish-washers | Volume (max volume) | Pool cover | Pool location | Pool shaded | Volume (max volume) | Spa cover | Spa shaded |
| All dwellings | 4 star (> 4.5 but <= 6 L/min) | 4 star                      | 4 star           | 6 star            | no                            | -                   | -                | -                   | -          | -             | -           | -                   | -         | -          |

| Alternative water source |                                  |                              |                                                                                                                                                                                                 |                      |                       |                    |             |            |
|--------------------------|----------------------------------|------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-----------------------|--------------------|-------------|------------|
| Dwelling no.             | Alternative water supply systems | Size                         | Configuration                                                                                                                                                                                   | Landscape connection | Toilet connection (s) | Laundry connection | Pool top-up | Spa top-up |
| 1a                       | individual water tank (no. 1)    | Tank size (min) 750.0 litres | To collect run-off from at least: 98.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area.  | yes                  | yes                   | yes                | no          | no         |
| All other dwellings      | individual water tank (no. 1)    | Tank size (min) 750.0 litres | To collect run-off from at least: 120.0 square metres of roof area; 0.0 square metres of impervious area; 0.0 square metres of garden and lawn area; and 0.0 square metres of planter box area. | yes                  | yes                   | yes                | no          | no         |

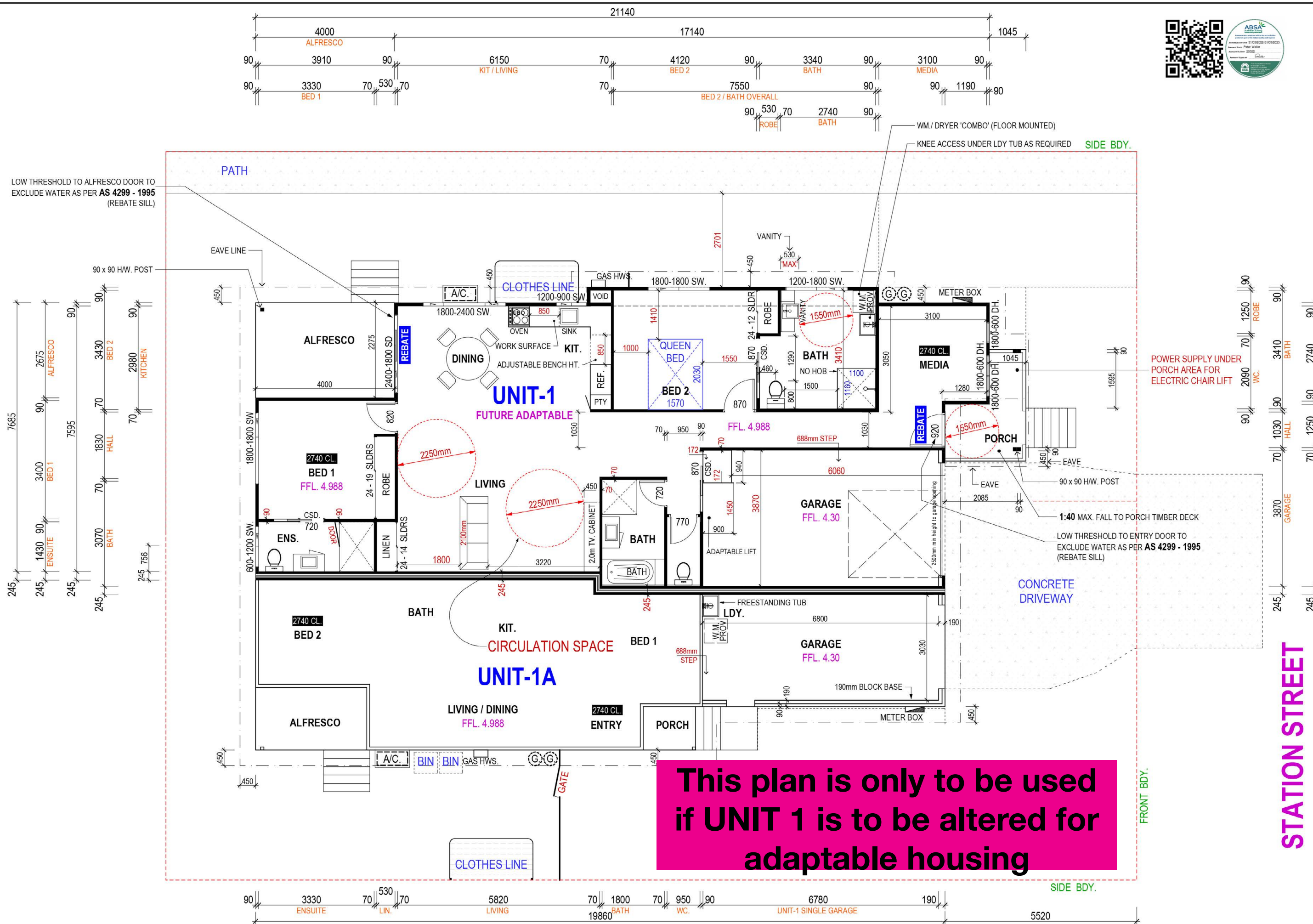
| Hot water     |                                        | Bathroom ventilation system              |                      | Kitchen ventilation system               |                      | Laundry ventilation system              |                   |
|---------------|----------------------------------------|------------------------------------------|----------------------|------------------------------------------|----------------------|-----------------------------------------|-------------------|
| Dwelling no.  | Hot water system                       | Each bathroom                            | Operation control    | Each kitchen                             | Operation control    | Each laundry                            | Operation control |
| All dwellings | solar (electric boosted) 21 to 25 STCs | individual fan, ducted to façade or roof | manual switch on/off | individual fan, ducted to façade or roof | manual switch on/off | natural ventilation only, or no laundry | -                 |

|                     | Cooling                                       |                                               | Heating                                       |                                               | Artificial lighting        |                                 |                 |                        |                 |                 | Natural lighting              |              |
|---------------------|-----------------------------------------------|-----------------------------------------------|-----------------------------------------------|-----------------------------------------------|----------------------------|---------------------------------|-----------------|------------------------|-----------------|-----------------|-------------------------------|--------------|
| Dwelling no.        | living areas                                  | bedroom areas                                 | living areas                                  | bedroom areas                                 | No. of bedrooms &/or study | No. of living &/or dining rooms | Each kitchen    | All bathrooms/ toilets | Each laundry    | All hallways    | No. of bathrooms &/or toilets | Main kitchen |
| 1                   | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 3 (dedicated)              | 2 (dedicated)                   | yes (dedicated) | yes (dedicated)        | yes (dedicated) | yes (dedicated) | 1                             | yes          |
| 1a                  | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 2 (dedicated)              | 2 (dedicated)                   | yes (dedicated) | yes (dedicated)        | yes (dedicated) | yes (dedicated) | 0                             | no           |
| All other dwellings | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 2.5 - 3.0 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 1-phase airconditioning EER 3.0 - 3.5 (zoned) | 3 (dedicated)              | 2 (dedicated)                   | yes (dedicated) | yes (dedicated)        | yes (dedicated) | yes (dedicated) | 2                             | yes          |

| Individual pool |                     | Individual spa |                    | Appliances & other efficiency measures |                             |              |                              |            |                |               |                                         |                                                    |
|-----------------|---------------------|----------------|--------------------|----------------------------------------|-----------------------------|--------------|------------------------------|------------|----------------|---------------|-----------------------------------------|----------------------------------------------------|
| Dwelling no.    | Pool heating system | Timer          | Spa heating system | Timer                                  | Kitchen cooktop/oven        | Refrigerator | Well ventilated fridge space | Dishwasher | Clothes washer | Clothes dryer | Indoor or sheltered clothes drying line | Private outdoor or unsheltered clothes drying line |
| All dwellings   | -                   | -              | -                  | -                                      | gas cooktop & electric oven | -            | no                           | -          | -              | -             | no                                      | yes                                                |



| BASIX Certificate Centre                                                                                                                      |                                       |                                  |                                                         |                                                               |                      |
|-----------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------|----------------------------------|---------------------------------------------------------|---------------------------------------------------------------|----------------------|
| Thermal Comfort Specification Summary                                                                                                         |                                       |                                  |                                                         |                                                               |                      |
| ABSA Assessor # 20322                                                                                                                         |                                       |                                  | NatHERS Certificate # 0006497880                        |                                                               |                      |
| The items specified below are those used in the above certificate, and should be cross-checked with the actual certificate                    |                                       |                                  |                                                         |                                                               |                      |
| Windows                                                                                                                                       | Glass Type                            | Frame Type                       | U Value                                                 | SHGC Value                                                    |                      |
| ALM-002-03 A                                                                                                                                  | Single Low E                          | Aluminium                        | 5.40                                                    | 0.58                                                          | All of Unit 1        |
| ALM-004-03 A                                                                                                                                  | Double Low E                          | Aluminium                        | 4.30                                                    | 0.53                                                          | All of Unit 1a       |
| ALM-002-01 A                                                                                                                                  | Single Clear                          | Aluminium                        | 6.70                                                    | 0.70                                                          | Unit 2 Garage & Bath |
| ALM-003-04 A                                                                                                                                  | Double Low E                          | Aluminium                        | 4.30                                                    | 0.47                                                          | Unit 2 Void area     |
| ALM-004-03 A                                                                                                                                  | Double Low E                          | Aluminium                        | 4.30                                                    | 0.53                                                          | Unit 2 Bed 1 & 2     |
| ALM-001-01 A                                                                                                                                  | Single Clear                          | Aluminium                        | 6.70                                                    | 0.57                                                          | Unit 3 awnings       |
| ALM-002-01 A                                                                                                                                  | Single Clear                          | Aluminium                        | 6.70                                                    | 0.70                                                          | Unit 3 Remainder     |
| NB: Refer to NatHERS Certificate for correct sizing and opening types                                                                         |                                       |                                  |                                                         |                                                               |                      |
| NB: Screens required to windows in accordance with NCC Child Safety, to allow full opening and cross-flow.                                    |                                       |                                  |                                                         |                                                               |                      |
| NB: Double Glazed could be substituted for single glazed with value tolerances as noted above - Similar to ComfortPlus                        |                                       |                                  |                                                         |                                                               |                      |
| Alternative products with different glazing and frame types can be used if they have a lower U value and a SHGC value tolerance of + or - 5%. |                                       |                                  |                                                         |                                                               |                      |
| Skylights                                                                                                                                     | Glass Type                            | Frame Type                       | U Value                                                 | SHGC Value                                                    |                      |
| Skylight Standard Type                                                                                                                        | Double Clear                          | Aluminium                        | 5.4                                                     | 0.69                                                          | As per plans         |
| External Wall Type                                                                                                                            | Insulation                            |                                  | Colour                                                  | Description                                                   |                      |
| Hardies Linea Cladding                                                                                                                        | R0.0 (or total R Value 0.43)          |                                  | Light                                                   | To Unit 1 & 1a Garages as per plans                           |                      |
| Brick                                                                                                                                         | None                                  |                                  | Light                                                   | To Unit 2 & 3 Garages as per plans                            |                      |
| Hardies Linea Cladding                                                                                                                        | R2.0 (or total R Value 2.27)          |                                  | Light                                                   | As per plans                                                  |                      |
| Hardies Easylap Cladding                                                                                                                      | R2.0 (or total R Value 2.24)          |                                  | Light                                                   | As per plans                                                  |                      |
| Internal Wall Type                                                                                                                            | Insulation                            |                                  | Description                                             |                                                               |                      |
| Framed Party Wall                                                                                                                             | As per NCC Requirements               |                                  | To Party or Dividing Walls                              |                                                               |                      |
| Plasterboard + Frame                                                                                                                          | R2.0                                  |                                  | To Garages, Units 2 & 3 Baths and walls onto roof space |                                                               |                      |
| Plasterboard + Frame                                                                                                                          | None                                  |                                  | To remainder as per plan                                |                                                               |                      |
| Floor Type                                                                                                                                    | Insulation                            | Floor Finishes                   |                                                         | Description                                                   |                      |
| Concrete (SOG)                                                                                                                                | None                                  | None                             |                                                         | To Garages as per plans                                       |                      |
| Framed (Elevated)                                                                                                                             | R2.0                                  | Tiles                            |                                                         | To Ground Floor wet areas                                     |                      |
| Framed (Elevated)                                                                                                                             | R2.0                                  | Timber style flooring            |                                                         | To remainder of Unit 2 & 3 Ground Floor areas                 |                      |
| Framed                                                                                                                                        | R2.0                                  | Carpet                           |                                                         | Bed 2 areas over Garage of Units 2 & 3 & beds of Units 1 & 1A |                      |
| Framed                                                                                                                                        | R2.0                                  | Vinyl                            |                                                         | To remainder of Units 1 & 1a                                  |                      |
| Framed                                                                                                                                        | None                                  | Tiles & Carpet                   |                                                         | To remainder of Units 2 & 3 First Floor areas as per plans    |                      |
| Ceiling Type                                                                                                                                  | Insulation                            |                                  | Description                                             |                                                               |                      |
| Plasterboard                                                                                                                                  | None                                  |                                  | To Garage                                               |                                                               |                      |
| Plasterboard                                                                                                                                  | None (Except over Garage - See above) |                                  | Below other floors                                      |                                                               |                      |
| Plasterboard                                                                                                                                  | R4.0                                  |                                  | To remainder of Units 2 & 3, plus Unit 1                |                                                               |                      |
| Plasterboard                                                                                                                                  | R5.0                                  |                                  | To Unit 1a                                              |                                                               |                      |
| Roof Type                                                                                                                                     | Insulation                            |                                  | Colour                                                  | Description                                                   |                      |
| Metal Sheetting                                                                                                                               | Anticon 55 or similar                 |                                  | Light                                                   | As per plans                                                  |                      |
| Special Notes:                                                                                                                                |                                       |                                  |                                                         |                                                               |                      |
| Void Windows to be Awning style to assit with Cross-Flow Ventilation                                                                          |                                       |                                  |                                                         |                                                               |                      |
| Additional items:                                                                                                                             |                                       |                                  |                                                         |                                                               |                      |
| Roof Ventilation:                                                                                                                             | None                                  | Ventilated Skylights:            |                                                         | Fixed                                                         |                      |
| Sealed Exhaust Fans:                                                                                                                          | Yes (self closing)                    | 1400mm Ceiling Fans for Cooling: |                                                         | 1 to Living & each bedroom of Units 1 & 1a                    |                      |
| Seals to Windows:                                                                                                                             | Yes - to AS2047                       | Approved Sealed LED Downlights:  |                                                         | Yes (if downlights installed)                                 |                      |
| Seals to doors:                                                                                                                               | Yes - to AS2047                       | Approved Downlight Covers:       |                                                         | Yes (if downlights installed)                                 |                      |
| NB: LED Downlights must be sealed to eliminate ventilation & approved to allow for insulation cover.                                          |                                       |                                  |                                                         |                                                               |                      |
| NB: Builder to ensure compliance with all relevant NCC requirements                                                                           |                                       |                                  |                                                         |                                                               |                      |



# PROPOSED FLOOR PLAN - FUTURE 'ADAPTABLE' UNIT-1

SCALE 1:100 at A3.

site: Lot 26 & 27 (#99) STATION STREET,  
Mullumbimby, NSW.  
Dual Occupancy (LOWSET)

|            |
|------------|
| Revision C |
| 21 of 29.  |





# DETAILED LANDSCAPE PACKAGE

99 STATION CREEK, MULLUMBIMBY NSW

EAST ASSETS GROUP  
REV A - SEPTMEBER 2022

## LANDSCAPE ARCHITECTURE - DESIGN / PLANNING / CONSULTANCY

### DRAWING REGISTER

|          |                           |          |                   |
|----------|---------------------------|----------|-------------------|
| SHEET 01 | - LANDSCAPE SPECIFICATION | SHEET 04 | - PLANTING PLAN   |
| SHEET 02 | - PLANT SCHEDULE          | SHEET 05 | - TYPICAL DETAILS |
| SHEET 03 | - SURFACE & FINISHES PLAN |          |                   |

### REVISION

REV A - DETAILED LANDSCAPE PACKAGE FOR CLIENT REVIEW      SEPTEMBER 2022

# LANDSCAPE SPECIFICATION

## GENERAL NOTES

LANDSCAPE PLANS MUST BE READ IN CONJUCTION WITH ALL OTHER  
RELAVENT CONSULTANTS PLANS SUCH AS:

- ARCHITECTS
- HYDRAULICS
- TRAFFIC
- CIVIL
- GEOTECH
- ARBORCULTURAL REPORT

### LANDSCAPE CONTRACTOR

LANDSCAPE CONTRACTOR MUST BE LICENCED AND HAVE APPROPROATE  
INSURANCES BEFORE COMMENCING WORK ON SITE.

### MATERIALS

ALL MATERIALS MUST BE AS PER THE SPECIFICATIONS UNLESS OTHERWISE  
CONFIRMED BY THE OWNER / CLIENT.

### SITE ACCESS:

LANDSCAPE CONTRACTOR MUST SIGN IN WITH THE ONSITE CONTRUCTION  
MANAGER BEFORE COMMENCING ANY WORKS, EVERY DAY ON SITE. MUST  
COMPLY WITH ALL SITE SPECIFIC SAFTEY REQUIREMENTS AT ALL TIMES AND  
FOLLOW ALL ON SITE RULES SET OUT BY THE CONSTRUCTION MANAGER.

### LOCATION SERVICES - ABOVE AND BELOW GROUND:

MUST CONFIRM LOCATION OF ALL SERVICES BEFORE COMMENCING WORKS  
ON SITE. DIAL BEFORE YOU DIG IS A REFERENCE TO CALL ON AND ONLY  
ACCREDITED CONTRACTORS TO BE USED TO LOCATION EXISTING SERVICES.  
ANY DAMAGED SERVICE MUST BE REPAIRED AT THE CONTRACTORS EXPENSE  
AND TO CODE.

### SET OUT:

LANDSCAPER IS TO CONFIRM SET OUT WITH THE CONSTRUCTION MANAGER  
BEFORE COMMENCING WORKS ON SITE. ENSURE ALL MEASUREMENTS ARE  
TAKEN FROM THE APPROVED ARCHITECTURALS IN RELATION TO HARDSCAPE  
WORKS AND READ IN CONJUCTION WITH THE APPROVED LANDSCAPE PLANS.

### SITE PREPARATION, SEDIMENT CONTROL AND EARTHWORKS:

BEFORE ANY EARTHWORKS ARE UNERTAKEN ON SITE, THE CONSTRUCTION  
MANAGER MUST BE NOTIFIED. IF CIVIL PLANS HAVE BEEN PREPARED FOR THE  
DEVELOPEMENT, ALL WORKS MUST BE IN ACCORDANCE WITH THESE PLANS  
AND AUSTRALIAN STANDARDS WITH ANY SEDIMENT CONTROL DEVICES PUT  
IN PLACE. NO RUNOFF MUST LEAVE THE DEVELOPMENT SITE AS TO ENTER  
THE LOCAL COUNCIL STORMWATER SYSTEM.

**SERVICE CONDUITS:** CONDUITS TO BE INSTALLED UNDER ALL HARDSTAND  
DRIVEWAYS AND FOOTPATHS TO ENSURE ACCESS FOR INSTALLATION OF  
IRRIGATION AND/OR ELECTRICAL WORKS IF NEEDED. INDICATIVE LOCATIONS  
HAVE BEEN PROVIDED ON THE PLANS, MUST CONFIRM LOCATIONS WITH  
BUILDER (LIAISE WITH LANDSCAPER FOR IRRIGATION, ELECTRICIAN FOR  
LIGHTING PRE CONCRETE POURING)

ALL MATERAILS USED MUST COMPLY WITH ALL RELEVENT CODES AND  
AUSTRALIAN STANDARDS FOR EACH SPECIFIC LANDSCAPE ELEMENT.

## HARDWORKS SPECIFICATION NOTES

### BOUNDARY FENCING:

GOOD NIEGHBOUR TIMBER FENCE WHERE NEEDED

**PT1 - CONCRETE** & CONCRETE DRIVEWAY BY BUILDER OR OTHERS

### INGROUND DRAINAGE:

REFER HYDRAULIC ENG DESIGN  
- INDICATIVE DESIGN SHOWN ON SURFACE & FINISHES PLANS. DRAINAGE  
GRATES, LINEAR DRAINAGE CHANNEL AND SUBSURFACE DRAINAGE MUST  
FALL AND CONNECT TO A STORMWATER LEGAL POINT OF DISCHARGE - BY  
PLUMBER / BUILDER / LANDSCAPER  
ALL GARDEN, ART TURF & TURF AREAS TO INSTALL SUBSOIL DRAINAGE THAT  
FALLS AND CONNECTS TO A STORMWATER LEGAL POINT OF DISCHARGE.  
MUST BE INSTALLED TO MANUFACTURARS SPECIFICATIONS.

### CIVIL / HYDRAULIC PIT / GRATE SURROUNDS / LINEAR DRAINAGE CHANNEL

REFER HYDRAULIC ENGINEER / PLUMBER / BUILDER. REFER HYDRAULIC  
ENGINEER FOR DESIGN AND SPECIFICATIONS. WHERE LANDSCAPE GARDENS  
/ MULCH INTERFACE PITS AND GRATES, ENSURE MULCH IS SEPARATED FROM  
PIT / GRATE BY A 200mm WIDTH x 150mm DEPTH DRAINAGE GRAVEL (20mm)  
SURROUND.

### SE - SPADE CUT EDGING

REFER DETAIL

**FT1 - FENCE TYPE 1:** TIMBER PICKET FENCE

FRONTAGE FENCE  
MATERIAL: TIMBER  
COLOUR: WHITE TONE  
HIEGHT: 1200mm

## SOFTWORKS SPECIFICATION NOTES

ALL PLANTING AND TURF AREAS ARE TO BE PREPARED PRIOR  
TO INSTALATION. CULTIVATION OF SUBGRADE TO A DEPTH OF 150mm. IF CLAY  
IS PRESENT, APPLY GYPSUM AT THE MANUFACTURERES SPECIFICATIONS.

### SOIL (TURF):

INSTALL ORGANIC TOPSOIL TO ALL TURFED AREAS. SOIL TO BE FREE OF  
RUBBISH AND WEEDS AND BE TO THE REQUIRED AUSTRALIAN STANDARDS.  
TYPE: PREMIUM UNDER TURF MIX  
DEPTH: 150mm

### SOIL (GARDEN BEDS IN NATURAL GROUND):

INSTALL ORGANIC TOPSOIL TO ALL MASS PLANTING AREAS. SOIL TO BE FREE  
OF RUBBISH AND WEEDS TO THE REQUIRED AUSTRALIAN STANDARDS.  
TYPE: PREMIUM ORGANIC TOPSOIL  
DEPTH: 300mm MINIMUM

### GA1 - MULCH:

INSTALL ORGANIC MULCH TO ALL PLANTING AREAS . ORGANIC MULCH TO BE  
FREE OF RUBISH AND WEEDS AND COMPLY TO THE REQUIRED AUSTRALIAN  
STANDARDS.  
TYPE: RED CYPRESS MULCH - NATURAL (NOT COLOURED) OR HOOP PINE  
DEPTH: 100mm

### SHRUBS AND GROUNDCOVERS:

INSTALL SHRUBS AND GROUNDCOVERS AS SHOWN ON THE LANDSCAPE  
PLANS. REFER PLANT SCHEDULE FOR SPECIES, NUMBERS AND SIZES. ALL  
PLANTS AND BE HEALTHY SPECIMENS FREE FROM DISEASE AND PESTS  
TO AUSTRALIAN STANDARDS. REFER TO TYPICAL DETAILS FOR PLANTING  
REQUIREMENTS.

### TREES:

INSTALL TREES AS SHOWN ON THE LANDSCAPE PLANS. REFER PLANT  
SCHEDULE FOR SPECIES, NUMBERS AND SIZES. ALL PLANTS AND BE HEALTHY  
SPECIMENS FREE FROM DISEASE AND PESTS TO AUSTRALIAN STANDARDS.  
REFER TO TYPICAL DETAILS FOR PLANTING REQUIREMENTS.

### ROOT BARRIER:

TREE SPECIES PLANTED WITH ROOT ZONES ADJACENT TO STRUCTURES  
MUST INSTALL A ROOT CONTROL BARRIER.  
SIZE: MINIMUM 600MM IN DEPTH

### TREE PROTECTION:

REFER TO ARBORCULTURAL REPORT FOR ANY TREES TO BE RETAINED AND  
PROTECTED AND ANY RELATING PRUNING AND DEAD WOODING.  
ENSURE TREE PROTECTION ZONES (TPZ) ARE FENCED OFF IN ACCORDANCE  
WITH THE REPORT AND REMAIN IN PLACE THROUGHOUT THE ENTIRETY OF  
THE CONSTRUCTION.

### TREE REMOVAL:

REFER TO ARBORCULTURAL REPORT IF RELEVANT FOR ALL TREE AND SHRUB  
REMOVAL. ENSURE ALL TREES TO BE REMOVED ARE TAGGED APPROPRIATELY  
APPROX ONE METRE FROM GROUND LEVEL. ENSURE TREE STUMPS ARE  
REMOVED WITH A STUMP GRINDER IN PREPARATION FOR PROPOSED  
LANDSCAPE WORKS.

REFER TO DETAILS FOR TYPICAL PLANTING REQUIREMENTS.

## PLANT PRESENTATION:

INSTALL TREES, SHRUBS AND GROUNDCOVERS IN THE LOCATIONS  
SHOWN ON THE LANDSCAPE PLANS AND TO THE NUMBERS AND SIZES IN  
THE PLANT SHEDULE.

PLANTS TO BE:

- FREE FROM DEAD OR DAMAGED OR LEAFS.
- FREE FROM PESTS AND DISEASE

## GENERAL TURF WORKS:

### TU - TURF :

SPECIES: EMPIRE ZOYSIA OR SIMILAR - LANDSCAPER TO CONFIRM BEST  
SPECIES FOR SITE CONDITIONS.

- TURF STORAGE: BEFORE TURF IS LAID IT IS BE PLACED IN LAYERS WITH  
GRASS TO GRASS AND ROOTS TO ROOTS AND KEPT MOIST WITH WATER. IF  
WET WEATHER, THE TURF SHALL BE ALLOWED TO DRY BEFORE LIFTING TO  
PREVENT TEARING. DRY WEATHER, THE TURF SHALL BE WATERED BEFORE  
LIFTING.

- INSTALLATION: TOPSOIL RAKED SMOOTH ON SITE. CUT ALL EDGES WITH  
A SHARP KNIFE OR MACHETTE. AVOID GAPS WHEN LAYING. STAGGER THE  
JOINTS IN EACH ROW IN A BRICK LAYING PATTERN. AVOID USING SMALL  
STRIPS AT OUTER EDGES. TO AVOID AIR POCKETS, AVOID REPEATED WALKING  
WHILE IT IS BEING INSTALLED OR IMMEDIATELY FOLLOWING INSTALLATION.  
ROLL LAID SURFACE TO REMOVE AIR POCKETS. TURF MUST BE LAID ON SITE  
WITHIN 24 HOURS.

- POST INSTALLATION: IMMEDIATELY AFTER LAYING SWEEP ALL FINISHED  
WORK WITH A SOFT HAIR BROOM AND WATER  
GENEROUSLY TO SATURATE TO A DEPTH OF 150MM. NEXT DAY, AGAIN  
SATURATE TO ASSURE WETNESS TO 80MM DEPTH. REPEAT DAILY TO ASSURE  
'KNITTING' INTO TOPSOIL.

## LEGEND



**GARDEN MULCH**  
REFER SPECIFICATIONS



**TURF**  
REFER SPECIFICATIONS



**CONCRETE**  
BY BUILDER



**SPADE CUT EDGING**  
REFER SPECIFICATIONS



**FENCE - TYPE 1 TIMBER PICKET**  
REFER SPECIFICATIONS

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DUNE ST - LANDSCAPE ARCHITECTS  
BURLEIGH HEADS, 4220

# LANDSCAPE SPECIFICATION

99 STATION CREEK, MULLUMBIMBY

SHEET - 1 OF 5

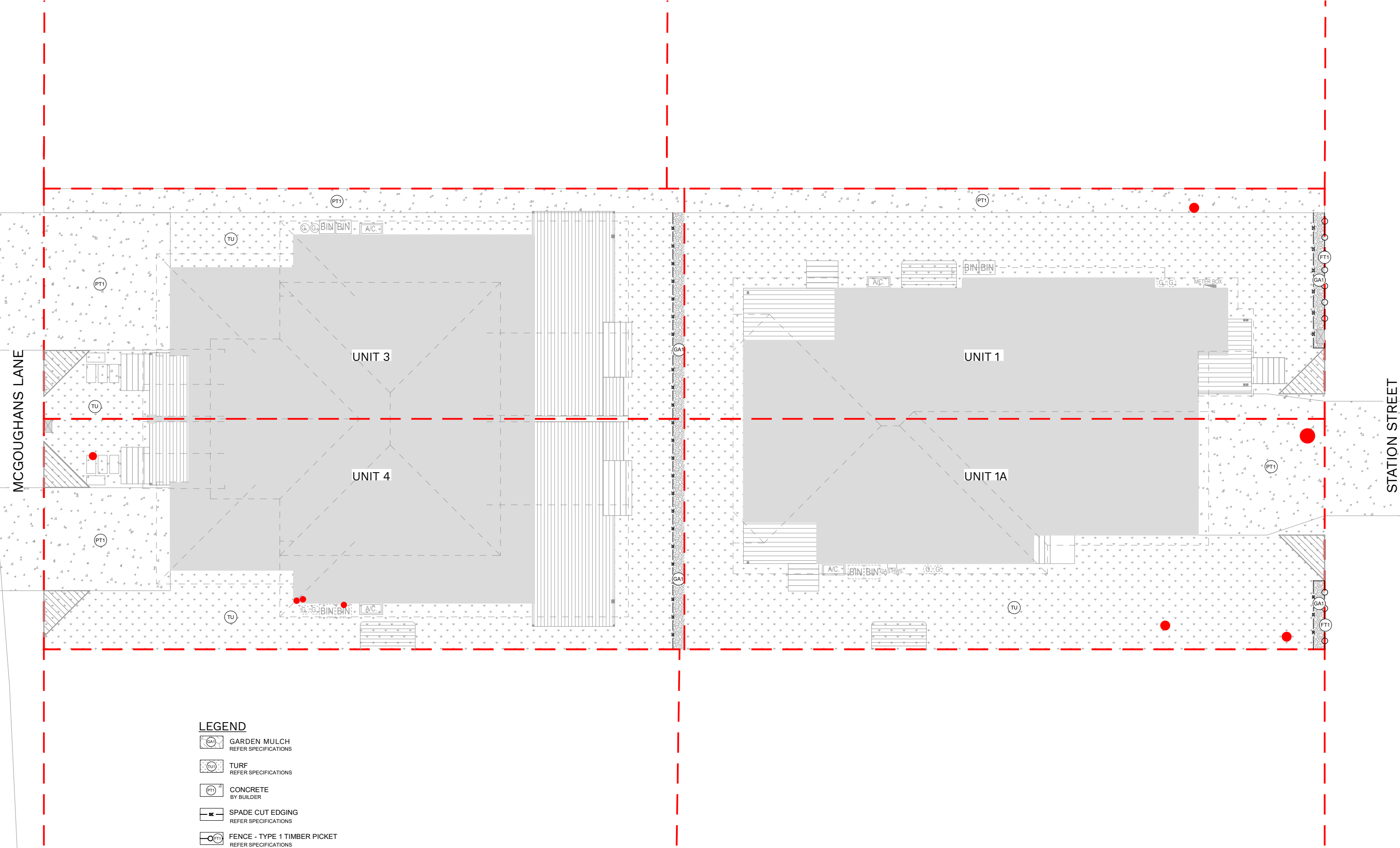
REV A - SEPTEMBER 2022



# PLANT SCHEDULE

| Code                                                                                                                                                                                                                                                      | Scientific Name     | Common Name | Quantity | Pot Size | H & W^ | Spacing  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|-------------|----------|----------|--------|----------|
| Shrubs                                                                                                                                                                                                                                                    |                     |             |          |          |        |          |
| SYZ res                                                                                                                                                                                                                                                   | SYZYGIUM resilience | Lilly Pilly | 27       | 200mm    | 4x2m   | As Shown |
|                                                                                                                                                                                                                                                           |                     |             |          |          |        |          |
| <div>Note:</div> <div>^ Mature Height &amp; Width only an approximate</div> <div><b>APPROXIMATE SURFACE AREAS</b></div> <div>GARDEN ORGANIC MULCH - 14 m2</div> <div>CONCRETE - 192 m2</div> <div>TURF - 390 m2</div> <div>SPADE CUT EDGING - 29 Lm</div> |                     |             |          |          |        |          |

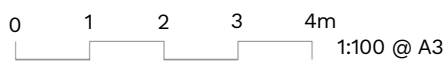




- LEGEND**
- GARDEN MULCH  
REFER SPECIFICATIONS
  - TURF  
REFER SPECIFICATIONS
  - CONCRETE  
BY BUILDER
  - SPADE CUT EDGING  
REFER SPECIFICATIONS
  - FENCE - TYPE 1 TIMBER PICKET  
REFER SPECIFICATIONS

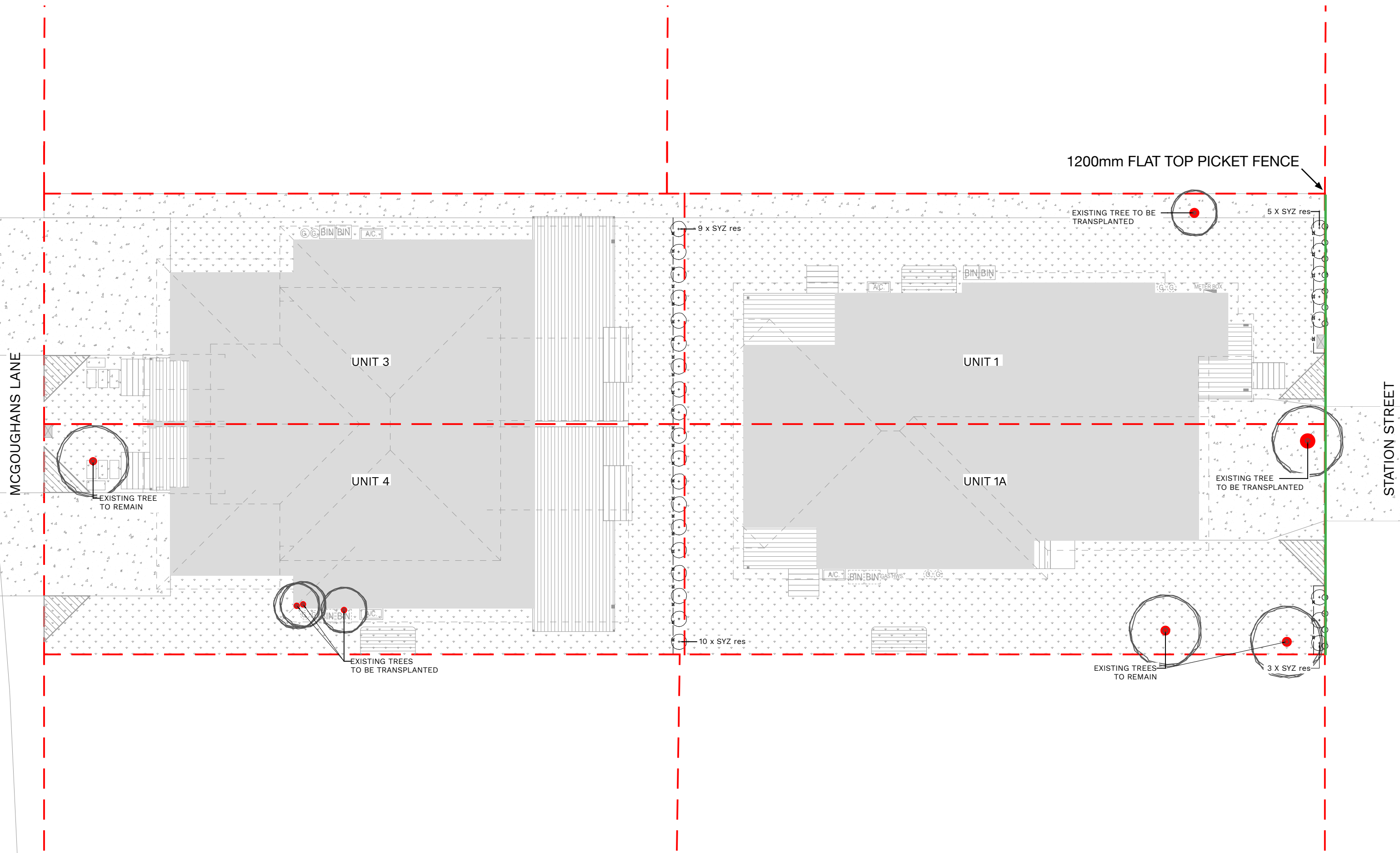
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BURLEIGH HEADS, 4220





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BURLEIGH HEADS, 4220

0 1 2 3 4m  
1:100 @ A3

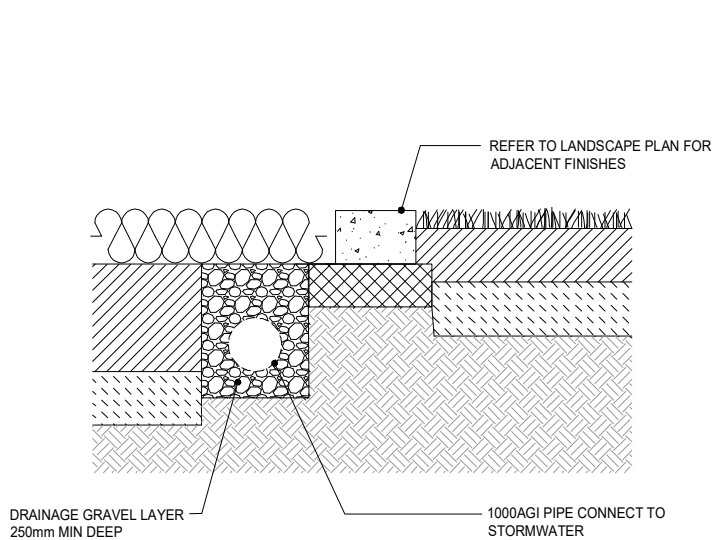
**NOTE:**  
ALL TREES TO BE TRANSPLANTED TO AN APPROPRIATE LOCATION APPROX 3m FROM DWELLINGS

# PLANTING PLAN

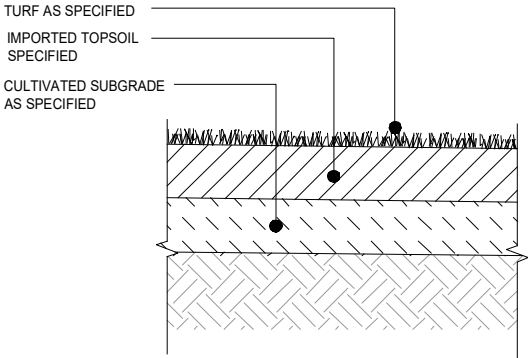
## 99 STATION CREEK, MULLUMBIMBY

SHEET - 4 OF 5

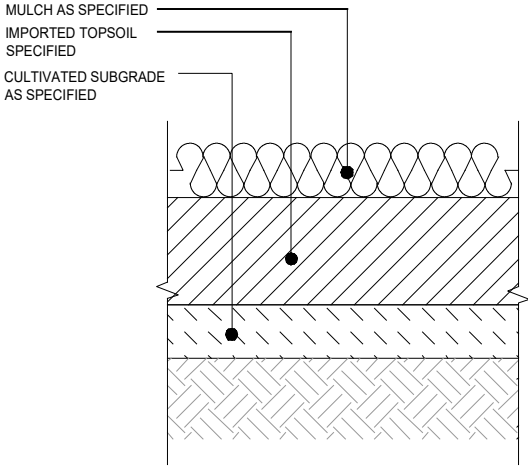
REV A - SEPTEMBER 2022



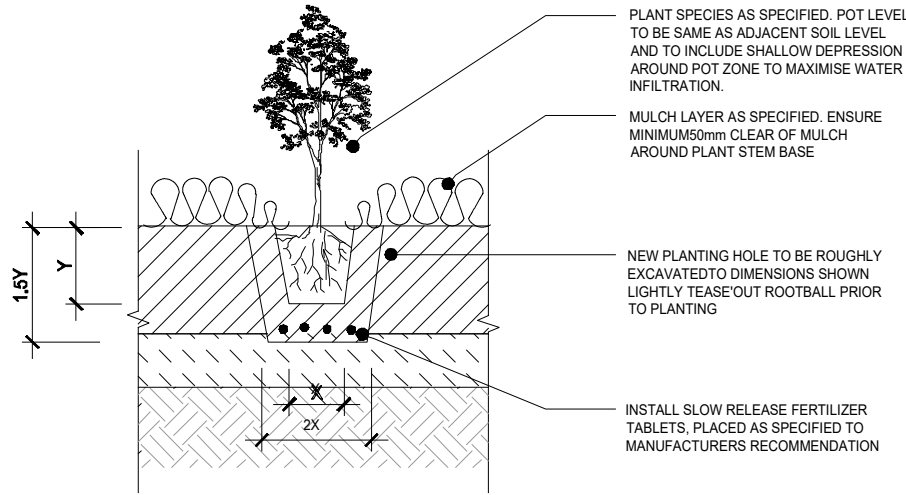
**SUB SURFACE DRAINAGE TO ADJACENT SURFACE**  
1:10@A1/1:20A3



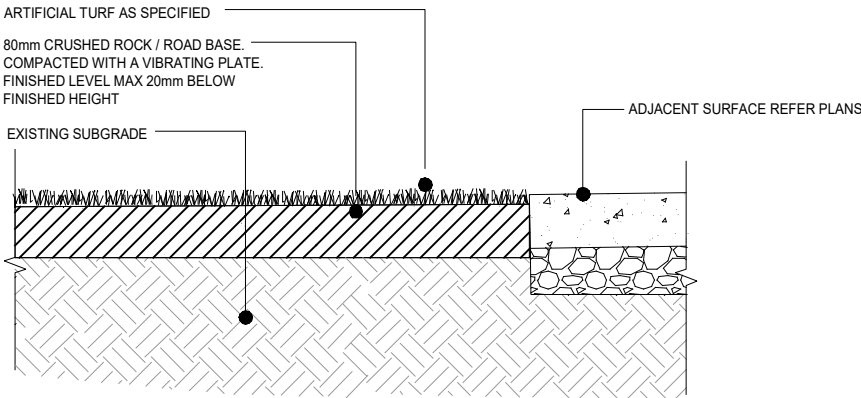
**TURF**  
1:10@A1/1:20A3



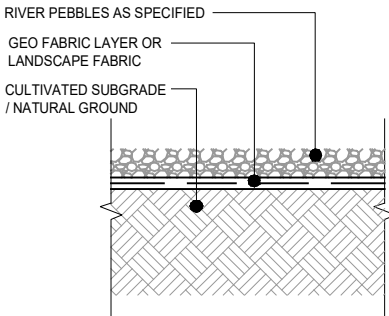
**GARDEN BED**  
1:10@A1/1:20A3



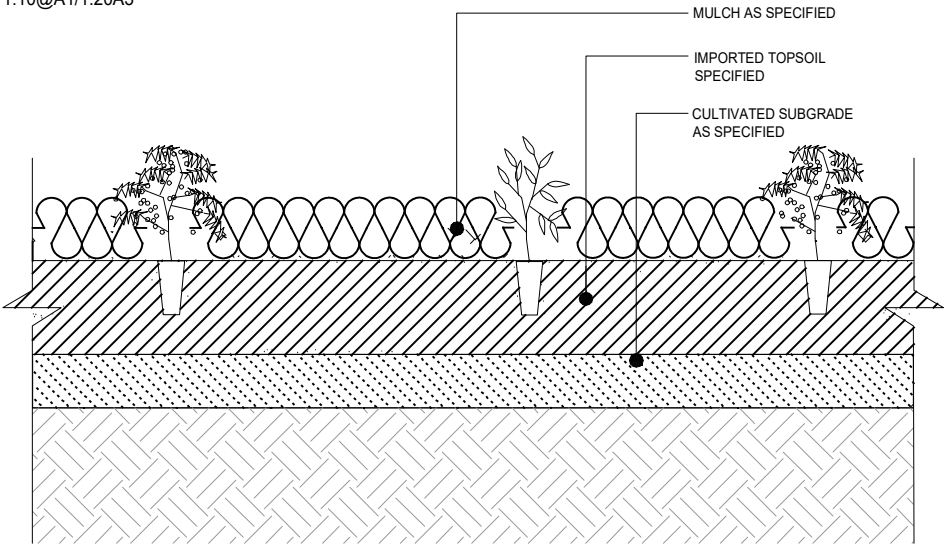
**SHRUB PLANTING**  
1:10@A1/1:20A3



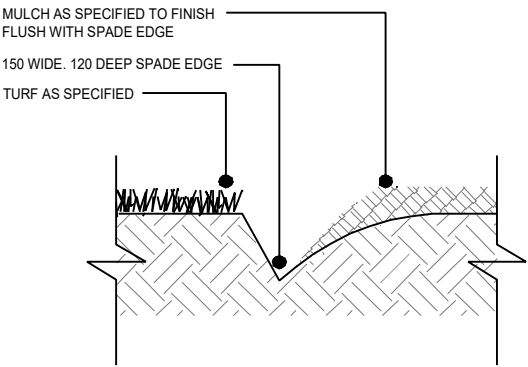
**ARTIFICIAL TURF TO HARDSTAND**  
1:10@A1/1:20A3



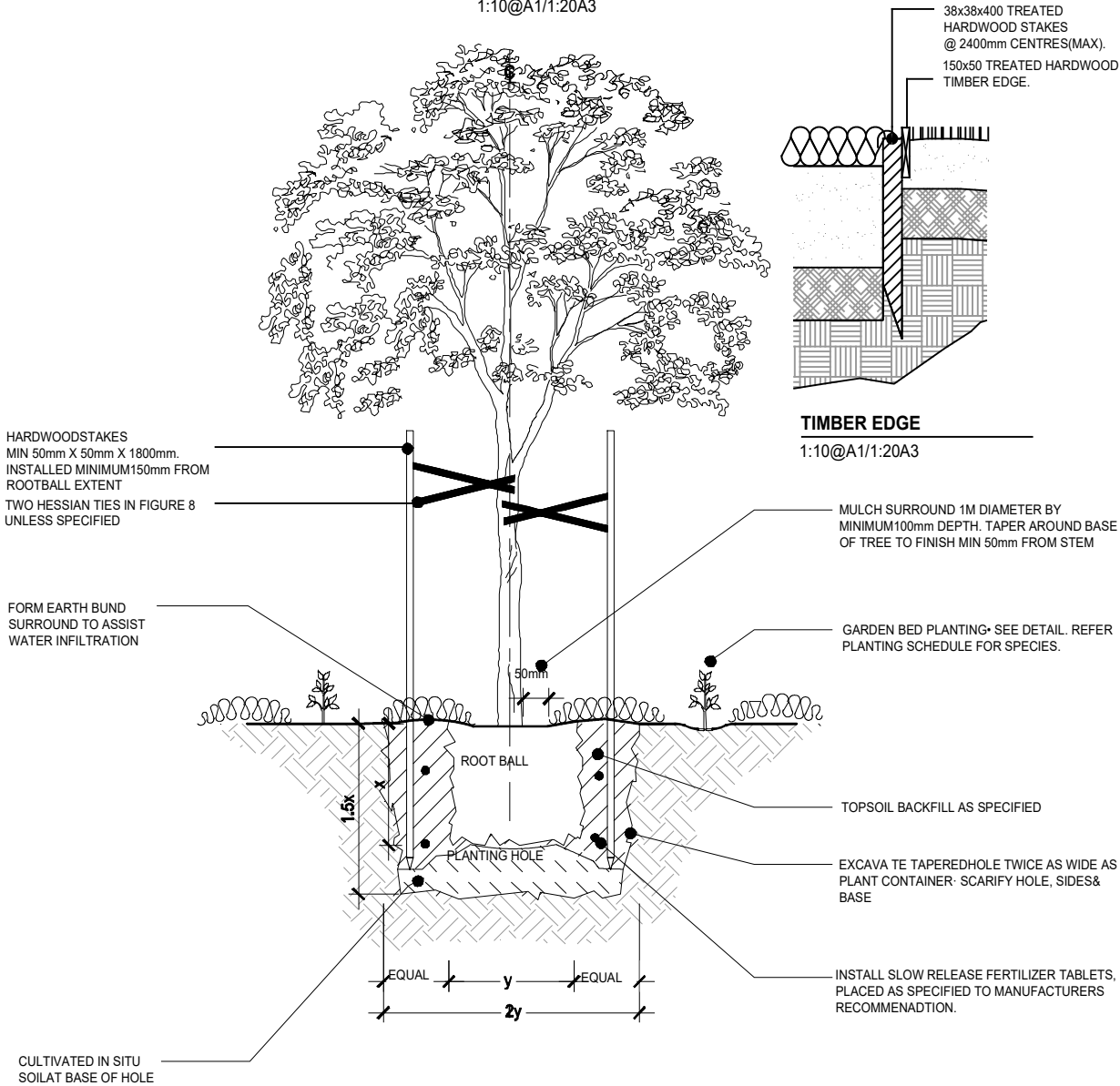
**RIVER PEBBLES**  
1:10@A1/1:20A3



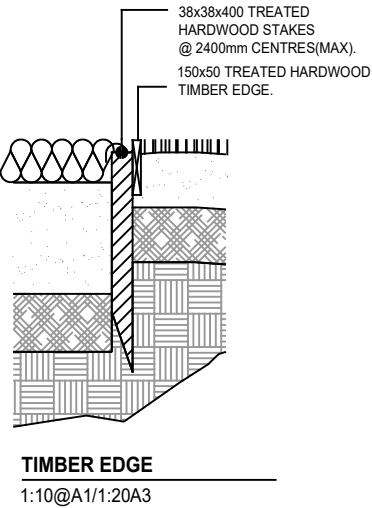
**GROUND COVER PLANTING**  
1:10@A1/1:20A3



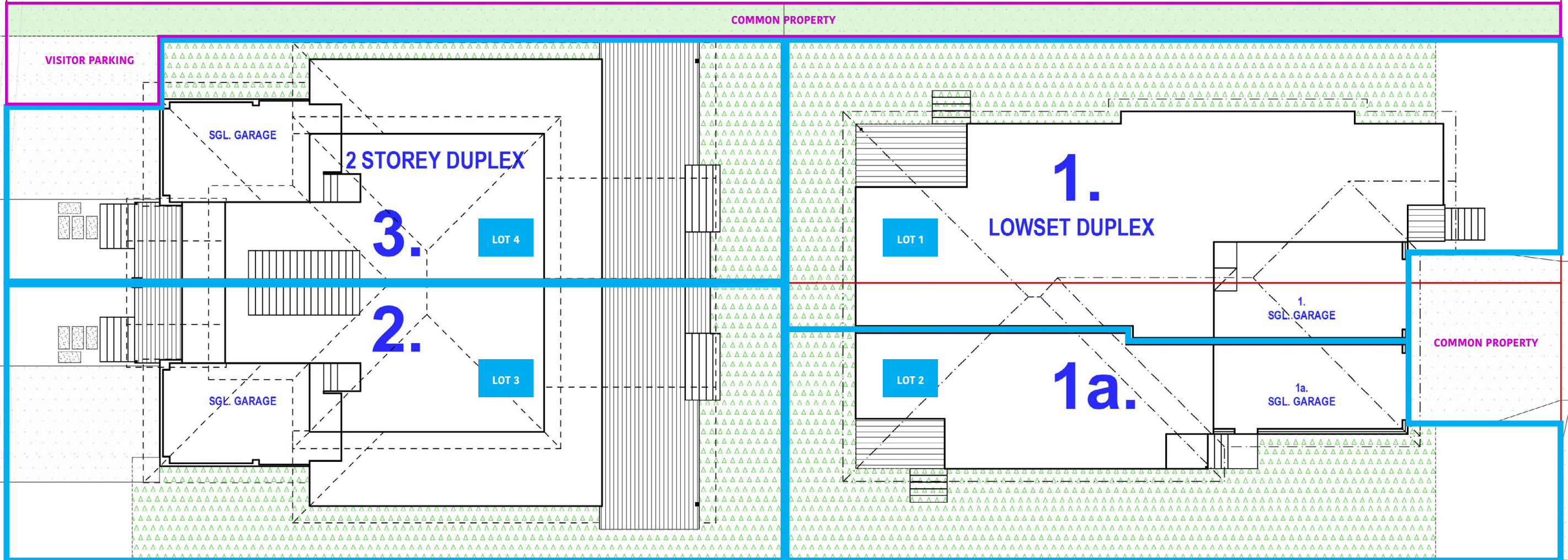
**SPADE CUT EDGE**  
1:10@A1/1:20A3



**FEATURE TREE IN GARDEN**  
1:10@A1/1:20A3







## STRATA PLAN

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CLIENT: East Assets Group  
ADDRESS: Lot 26 & 27 (No:99) STATION STREET, Mullumbimby, NSW. DP2772.  
DUAL OCCUPANCY

| Rev. | Description: | Date: |
|------|--------------|-------|
|      |              |       |

Latest Plans:

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HERITAGE FINISHES SCHEDULE

| ITEM             | DETAIL                                                  | APPLIED FINISH / COLOUR |
|------------------|---------------------------------------------------------|-------------------------|
| FRONT FENCE      | Flat top picket fence                                   | Resene Soapstone        |
| WALL CLADDING    | Weather board                                           | Resene Soapstone        |
| HAND RAILS/POSTS | Painted treated pine hand rails as per detail on plans  | Shale Grey              |
| WINDOW TRIMS     | Painted treated pine                                    | Shale Grey              |
| GARAGE DOOR      | Panel lift door                                         | Shale Grey              |
| BRICK WORK       | Face brick work                                         | Raw                     |
| ROOFING          | Corrugated iron sheeting,Fascia, Gutters and Down pipes | Shale Grey              |

